

## State Board of Land Commissioners Open Meeting Checklist

Meeting Date: April 21, 2020

### Regular Meetings

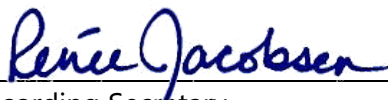
4/14/2020	Notice of Meeting posted in prominent place in IDL's Boise Headquarters office five (5) or more calendar days before meeting.
4/14/2020	Notice of Meeting posted in prominent place in IDL's Coeur d'Alene Headquarters office five (5) or more calendar days before meeting.
4/14/2020	Notice of Meeting posted in prominent place at meeting location five (5) or more calendar days before meeting.
4/14/2020	Notice of Meeting emailed/faxed to list of media and interested citizens who have requested such notice five (5) or more calendar days before meeting.
4/14/2020	Notice of Meeting posted electronically on IDL's public website <a href="http://www.idl.idaho.gov">www.idl.idaho.gov</a> five (5) or more calendar days before meeting.
4/16/2020	Agenda posted in prominent place in IDL's Boise Headquarters office forty-eight (48) hours before meeting.
4/16/2020	Agenda posted in prominent place in IDL's Coeur d'Alene Headquarters office forty-eight (48) hours before meeting.
4/16/2020	Agenda posted in prominent place at meeting location forty-eight (48) hours before meeting.
4/16/2020	Agenda emailed/faxed to list of media and interested citizens who have requested such notice forty-eight (48) hours before meeting.
4/16/2020	Agenda posted electronically on IDL's public website <a href="http://www.idl.idaho.gov">www.idl.idaho.gov</a> forty-eight (48) hours before meeting.
12/9/2019	Land Board annual meeting schedule posted – Boise Director's office, Coeur d'Alene staff office, and IDL's public website <a href="http://www.idl.idaho.gov">www.idl.idaho.gov</a>

### Special Meetings

	Notice of Meeting and Agenda posted in a prominent place in IDL's Boise Director's office twenty-four (24) hours before meeting.
	Notice of Meeting and Agenda posted in a prominent place in IDL's Coeur d'Alene staff office twenty-four (24) hours before meeting.
	Notice of Meeting and Agenda posted at meeting location twenty-four (24) hours before meeting.
	Notice of Meeting and Agenda emailed/faxed to list of media and interested citizens who have requested such notice twenty-four (24) hours before meeting.
	Notice of Meeting and Agenda posted electronically on IDL's public website <a href="http://www.idl.idaho.gov">www.idl.idaho.gov</a> twenty-four (24) hours before meeting.
	Emergency situation exists – no advance Notice of Meeting or Agenda needed. "Emergency" defined in Idaho Code § 74-204(2).

### Executive Sessions *(If only an Executive Session will be held)*

	Notice of Meeting and Agenda posted in IDL's Boise Director's office twenty-four (24) hours before meeting.
	Notice of Meeting and Agenda posted in IDL's Coeur d'Alene staff office twenty-four (24) hours before meeting.
	Notice of Meeting and Agenda emailed/faxed to list of media and interested citizens who have requested such notice twenty-four (24) hours before meeting.
	Notice of Meeting and Agenda posted electronically on IDL's public website <a href="http://www.idl.idaho.gov">www.idl.idaho.gov</a> twenty-four (24) hours before meeting.
	Notice contains reason for the executive session and the applicable provision of Idaho Code § 74-206 that authorizes the executive session.



Recording Secretary

April 16, 2020

Date



## Idaho State Board of Land Commissioners

Brad Little, Governor and President of the Board

Lawrence E. Denney, Secretary of State

Lawrence G. Wasden, Attorney General

Brandon D Woolf, State Controller

Sherri Ybarra, Superintendent of Public Instruction

Dustin T. Miller, Secretary to the Board

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# NOTICE OF PUBLIC MEETING APRIL 2020

The Idaho State Board of Land Commissioners will hold a Regular Meeting on Tuesday, April 21, 2020. The meeting is scheduled to begin at 9:00 AM (Mountain).

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***The State Board of Land Commissioners will conduct this meeting telephonically only.<sup>1</sup>***

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*Members of the public may attend the meeting via teleconference, using the following:*

*Dial toll-free: 1-877-820-7831*

*Enter passcode: 6371288, followed by (#) key*

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<sup>1</sup> Pursuant to Governor's proclamation, March 18, 2020.

First Notice Posted: 4/14/2020-IDL Boise; 4/14/2020-IDL CDA

This notice is published pursuant to § 74-204 Idaho Code. For additional information regarding Idaho's Open Meeting law, please see Idaho Code §§ 74-201 through 74-208.



## Idaho State Board of Land Commissioners

Brad Little, Governor and President of the Board  
Lawrence E. Denney, Secretary of State  
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State Board of Land Commissioners Regular Meeting  
April 21, 2020 – 9:00 AM (MT)  
Amended Final Agenda

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*For the record, pursuant to Idaho Code § 74-204(4)(c), the published agenda was amended at the start of the meeting. Refer to meeting minutes for detailed information regarding the amendment motion.*

### **1. Department Report – Presented by Dustin Miller, Director**

#### **Trust Land Revenue**

- A. Timber Sales – March 2020
- B. Leases and Permits – March 2020

#### **Status Updates**

- C. Legislative Summary - Final
- D. Land Bank Fund

### **2. Endowment Fund Investment Board Report – Presented by Chris Anton, EFIB Manager of Investments**

- A. Manager's Report
- B. Investment Report

### **Consent—Action Item(s)**

### **3. Timber License Plate Fee Recommendation – Presented by Dustin Miller, Director, and Jennifer Okerlund, Director, Idaho Forest Products Commission**

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<sup>1</sup> Pursuant to Governor's proclamation, March 18, 2020.

4. **Results of February 2020 Grazing Live Auctions** – *Presented by Dustin Miller, Director*
5. **Placer Permit P800353, Doloughan Construction LLC** – *Presented by Eric Wilson, Bureau Chief-Resource Protection and Assistance*
6. **Approval of Minutes** – February 18, 2020 Regular Meeting (Boise)

#### **Regular—Action Item(s)**

7. **Proposed Relocation of Parks Department Maintenance Facility to City of McCall's Central Idaho Historical Museum Property** – *Presented by Sid Anderson, Program Manager-Real Estate, and Kurt Wolf, Parks and Recreation Director, City of McCall*  
(Moved from Consent to Regular agenda)
8. **FY2021 Timber Sales Plan** – *Presented by Jim Elbin, Bureau Chief-Forest Management*

#### **Information**

9. **Central Idaho Land Exchange Update** – *Presented by Dustin Miller, Director*

#### **Executive Session**

None

IDAHO DEPARTMENT OF LANDS





# Idaho Statutes

TITLE 74  
TRANSPARENT AND ETHICAL GOVERNMENT  
CHAPTER 2

OPEN MEETINGS LAW

74-206. EXECUTIVE SESSIONS – WHEN AUTHORIZED. (1) An executive session at which members of the public are excluded may be held, but only for the purposes and only in the manner set forth in this section. The motion to go into executive session shall identify the specific subsections of this section that authorize the executive session. There shall be a roll call vote on the motion and the vote shall be recorded in the minutes. An executive session shall be authorized by a two-thirds (2/3) vote of the governing body. An executive session may be held:

(a) To consider hiring a public officer, employee, staff member or individual agent, wherein the respective qualities of individuals are to be evaluated in order to fill a particular vacancy or need. This paragraph does not apply to filling a vacancy in an elective office or deliberations about staffing needs in general;

(b) To consider the evaluation, dismissal or disciplining of, or to hear complaints or charges brought against, a public officer, employee, staff member or individual agent, or public school student;

(c) To acquire an interest in real property not owned by a public agency;

(d) To consider records that are exempt from disclosure as provided in chapter 1, title 74, Idaho Code;

(e) To consider preliminary negotiations involving matters of trade or commerce in which the governing body is in competition with governing bodies in other states or nations;

(f) To communicate with legal counsel for the public agency to discuss the legal ramifications of and legal options for pending litigation, or controversies not yet being litigated but imminently likely to be litigated. The mere presence of legal counsel at an executive session does not satisfy this requirement;

(g) By the commission of pardons and parole, as provided by law;

(h) By the custody review board of the Idaho department of juvenile corrections, as provided by law;

(i) To engage in communications with a representative of the public agency's risk manager or insurance provider to discuss the adjustment of a pending claim or prevention of a claim imminently likely to be filed. The mere presence of a representative of the public agency's risk manager or insurance provider at an executive session does not satisfy this requirement; or

(j) To consider labor contract matters authorized under section 74-206A (1)(a) and (b), Idaho Code.

(2) The exceptions to the general policy in favor of open meetings stated in this section shall be narrowly construed. It shall be a violation of this chapter to change the subject within the executive session to one not identified within the motion to enter the executive session or to any topic for which an executive session is not provided.

(3) No executive session may be held for the purpose of taking any final action or making any final decision.

(4) If the governing board of a public school district, charter district, or public charter school has vacancies such that fewer than two-thirds (2/3) of board members have been seated, then the board may enter into executive session on a simple roll call majority vote.

History:

[74-206, added 2015, ch. 140, sec. 5, p. 371; am. 2015, ch. 271, sec. 1, p. 1125; am. 2018, ch. 169, sec. 25, p. 377; am. 2019, ch. 114, sec. 1, p. 439.]

## STATE BOARD OF LAND COMMISSIONERS

April 21, 2020  
Trust Land Revenue

### Timber Sales

During February 2020, the Department of Lands sold two endowment timber sales at auction. The endowment net sale value represents a 0.0% up bid over the advertised value. Due to full log yards and no up bid on recent sales, no sales were scheduled for auction in March. On April 2nd, the Department of Lands sold the Potter Ton timber sale to Woodgrain Millwork, Inc. with an up bid of 17%. The Lightning Ton sale did not sell at auction. The sale will be reappraised and offered for a second auction at a later date.

TIMBER SALE AUCTIONS – February 2020								
Sale Name	Area	Sawlogs MBF	Cedar Prod MBF	Pulp MBF	Appraised Net Value	Sale Net Value	Net \$/MBF	Purchaser
South Boehls	SJ	6,325			\$ 906,047	\$ 906,047.00	\$143.25	Stimson
Scolytus and Rice	MC	1,455			\$ 168,955	\$ 168,955.00	\$116.12	IFG Timber LLC
<b>Endowment</b>		<b>7,780</b>	<b>0</b>	<b>0</b>	<b>\$1,075,002</b>	<b>\$ 1,075,002.00</b>	<b>\$138.18</b>	

PROPOSED TIMBER SALES FOR AUCTION				
Sale Name	Volume MBF	Advertised Net Value	Area	Estimated Auction Date
North Operations				
Hunts Over	4,010	\$ 387,061	PL	4/9/2020
Lion Edge	2,900	\$ 372,668	PL	4/9/2020
Devils Fork	3,000	\$ 302,986	PL	4/16/2020
Cedar Canyon	2,500	\$ 517,862	PL	4/16/2020
Hither to Yonder	7,545	\$ 1,768,597	SJ	4/29/2020
Seemless Swamp	7,575	\$ 988,782	POND	4/14/2020
Manassas	8,120	\$ 1,873,372	POND	4/23/2020
Flannigan	4,970	\$ 655,312	POND	4/14/2020
	40,620	\$ 6,866,638		
South Operations				
Big South Headwaters	2,440	\$ 518,129	CLW	4/30/2020
13 Mile	7,355	\$ 1,200,099	CLW	4/30/2020
Lightning Ton	1,045	\$ 73,908	PAY	4/2/2020
Potter Ton	4,600	\$ 566,776	PAY	4/2/2020
Sonner Ton	5,280	\$ 502,633	PAY	4/15/2020
	20,720	\$ 2,861,544		

<b>VOLUME UNDER CONTRACT as of March 31, 2020</b>				
	Public School	Pooled	Total	3 Year Avg.
Active Contracts			<b>157</b>	164
Total Residual MBF Equivalent	342,285	195,577	<b>537,862</b>	485,815
Estimated residual value	\$84,996,411	\$49,669,966	<b>\$134,666,377</b>	\$135,229,834
Residual Value (\$/MBF)	\$248.32	\$253.97	<b>\$250.37</b>	\$277.96

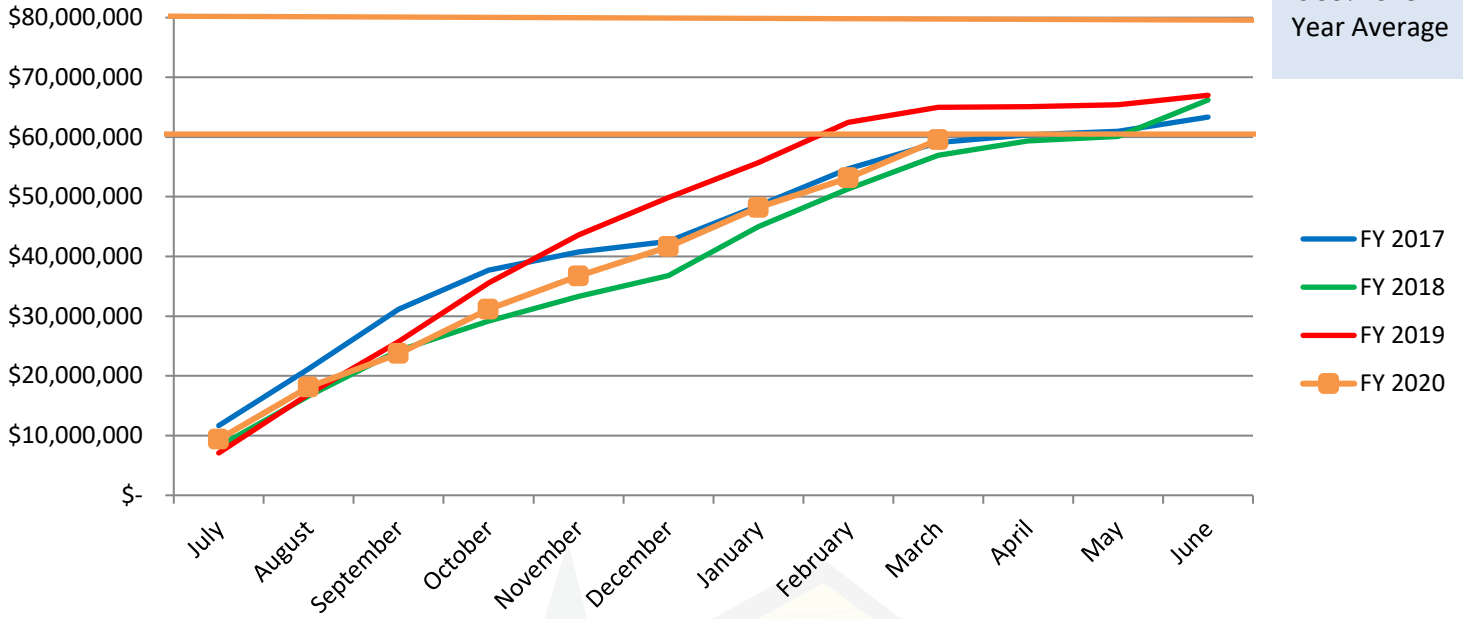
	TIMBER HARVEST RECEIPTS									
	March				FY to date		April Projected			
	Stumpage		Interest		Harvest Receipts		Stumpage		Interest	
Public School	\$	3,372,297.48	\$	323,132.04	\$	38,405,931.59	\$	503,377.62	\$	41,118.98
Pooled	\$	2,474,844.44	\$	236,151.78	\$	21,136,256.29	\$	450,282.50	\$	31,904.47
General Fund	\$	2,553.15	\$	230.37	\$	4,046.77	\$	15.67	\$	1.44
TOTALS	\$	5,849,695.07	\$	559,514.19	\$	59,546,234.65	\$	953,675.79	\$	73,024.89

	<b>Status of FY 2020 Timber Sale Program</b>						
	MBF Sawlog				Number Poles		
	Public School	Pooled	All Endowments		Public School	Pooled	All Endowments
Sold as of March 31, 2020	99,299	46,920	146,220		2,003	5,650	7,653
Currently Advertised	39,197	26,950	66,147		4,800	0	4,800
In Review	20,739	10,926	31,665		3,500	0	3,500
Did Not Sell <sup>1</sup>	0	0	0		0	0	0
<b>TOTALS</b>	<b>159,235</b>	<b>84,796</b>	<b>244,031</b>		<b>10,303</b>	<b>5,650</b>	<b>15,953</b>
FY-2020 Sales Plan			267,395				17,953
Percent to Date			91%				89%

<sup>1</sup> After three attempts at auction.

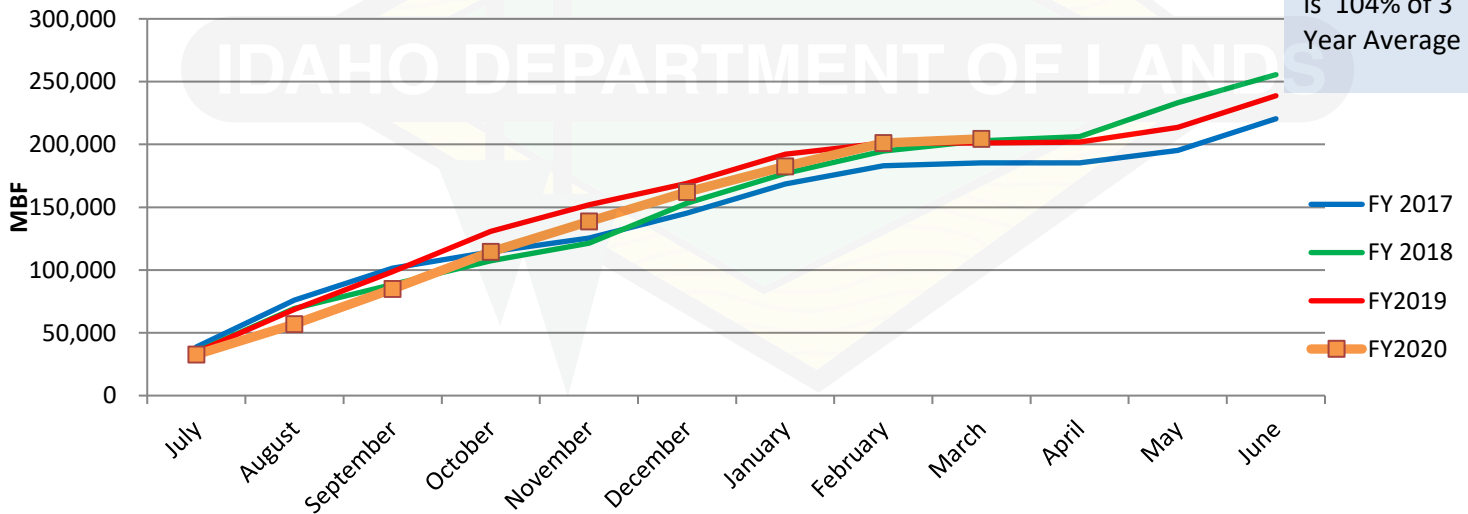
## Cumulative Harvest Receipts

Current FYTD  
is 99% of 3  
Year Average

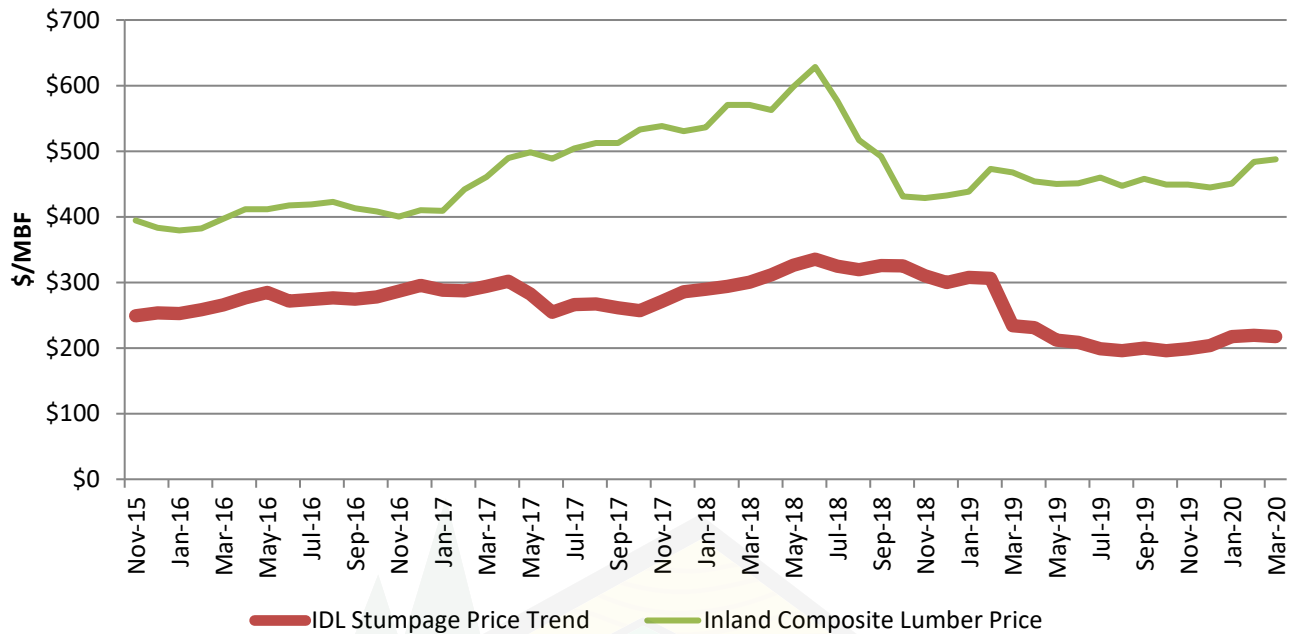


## Cumulative Harvest Volume

Current FYTD  
is 104% of 3  
Year Average



## Monthly Lumber and Stumpage Price

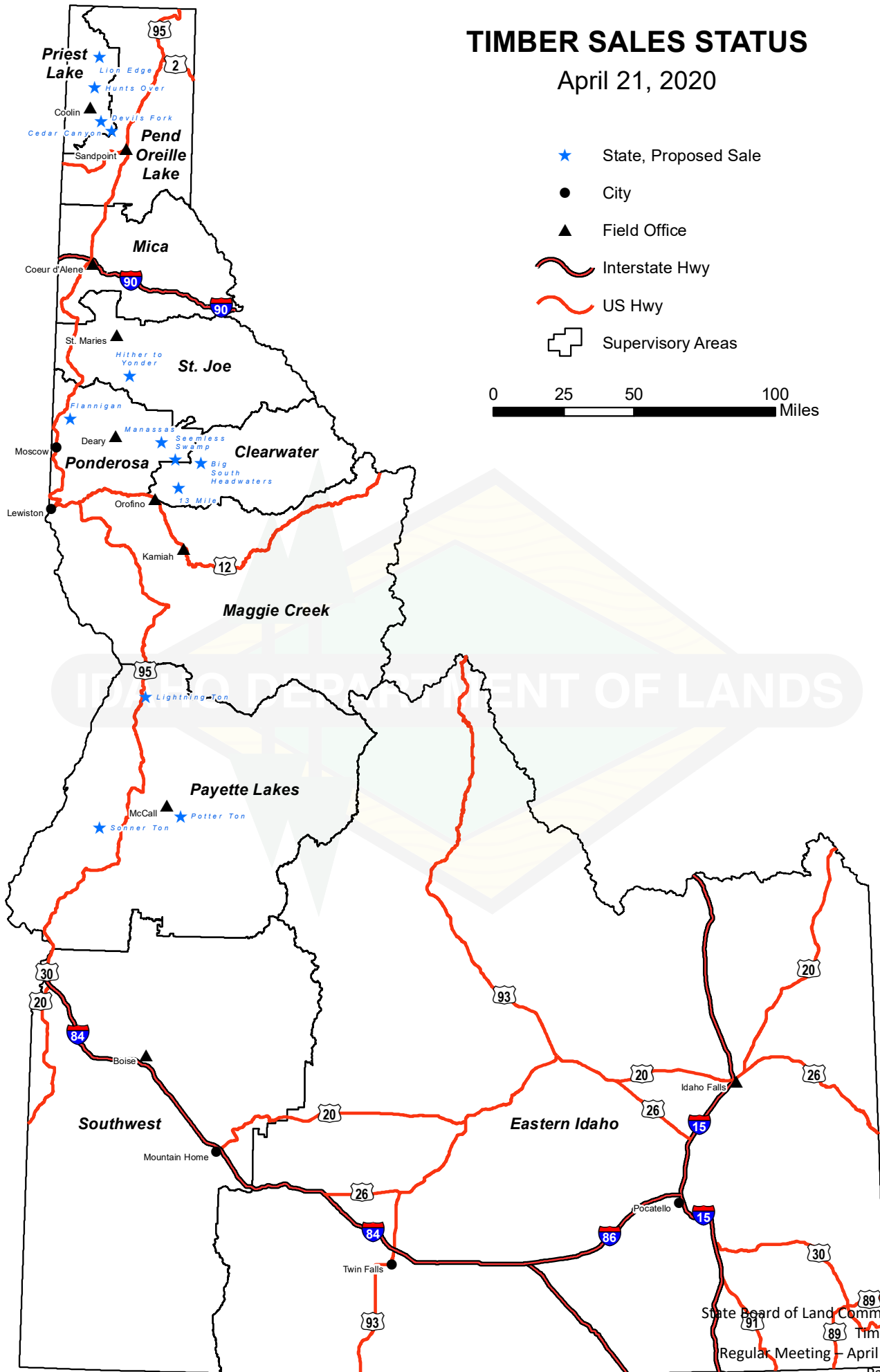


IDL Stumpage Price Line is a 6-month rolling average of the net sale price.

IDAHO DEPARTMENT OF LANDS

# TIMBER SALES STATUS

April 21, 2020



State Board of Land Commissioners  
Timber Sales  
Regular Meeting - April 21, 2020

# STATE BOARD OF LAND COMMISSIONERS

April 21, 2020  
Trust Land Revenue

## Leases and Permits

FISCAL YEAR 2020 – LEASING & PERMITTING TRANSACTIONS BY MONTH – through March 31, 2020														
ACTIVITY	JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN	EST	FYTD
<b>SURFACE</b>														
Agriculture	-	-	-	-	-	-	2	-	5	-	-	-	12	7
Assignments	-	-	-	-	-	-	-	1	-	-	-	-	-	1
Communication Sites	-	-	-	-	-	-	-	-	-	-	-	-	5	0
Grazing	-	-	-	-	-	-	37	15	47	-	-	-	142	99
Assignments	2	1	1	2	1	1	6	1	1	-	-	-	-	16
Residential	-	-	-	-	-	-	-	8	1	-	-	-	15	9
Assignments	-	1	1	1	-	-	1	1	-	-	-	-	-	5
<b>COMMERCIAL</b>														
Alternative Energy	-	-	-	-	-	-	-	-	-	-	-	-	-	0
Industrial	-	-	-	-	-	-	-	-	-	-	-	-	1	0
Military	-	-	-	-	-	-	-	-	-	-	-	-	3	0
Office/Retail	-	-	-	-	-	2	-	-	-	-	-	-	4	2
Recreation	-	-	-	-	-	-	-	-	-	-	-	-	4	0
Assignments	-	-	-	-	-	-	1	-	1	-	-	-	-	2
<b>OTHER</b>														
Conservation	-	-	-	-	-	-	-	-	-	-	-	-	1	0
Assignments	-	-	-	1	-	-	-	-	-	-	-	-	-	1
Geothermal	-	-	-	-	-	-	-	-	-	-	-	-	-	0
Minerals	-	-	-	-	-	-	-	-	-	-	-	-	9	0
Assignments	1	-	-	-	3	-	-	-	-	-	-	-	-	4
Non-Comm Recreation	-	-	-	-	-	-	-	-	-	-	-	-	-	0
Oil & Gas	-	-	-	-	-	-	-	-	-	-	-	-	-	0
<b>PERMITS</b>														
Land Use Permits	14	5	8	9	2	5	2	6	9	-	-	-	NA	60
<b>TOTAL INSTRUMENTS</b>	<b>17</b>	<b>7</b>	<b>10</b>	<b>13</b>	<b>6</b>	<b>8</b>	<b>49</b>	<b>32</b>	<b>64</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>NA</b>	<b>206</b>

## Real Estate

FISCAL YEAR 2020 – REAL ESTATE TRANSACTIONS BY MONTH – through March 31, 2020													
ACTIVITY	JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN	FYTD
Deeds Acquired	-	-	-	-	-	-	-	-	-	-	-	-	0
Deeds Granted	6	1	11	14	1	3	1	1	-	-	-	-	38
Deeds Granted - Surplus	-	-	-	-	-	-	-	-	-	-	-	-	0
Easements Acquired	-	1	3	-	-	-	1	2	-	-	-	-	7
Easements Granted	1	1	2	2	-	2	-	1	-	-	-	-	9
As in the past two months, a significant number of the re-advertised 2020 leases have been processed. The Department continues to work on getting the remaining re-advertised leases processed and complete.													

**TRUST LAND MANAGEMENT DIVISION**  
**2020 FYTD GROSS REVENUE - ACTUAL AND FORECASTED**  
**through March 31, 2020**

	ACTUAL RECEIPTS AS OF 03.31.2020	REVENUE EXPECTED BY 03.31.2020**	REVENUE EXPECTED BY 06.30.2020
<b>SURFACE</b>			
AGRICULTURE	\$ 337,885	\$ 263,754	\$ 308,786
COMMUNICATION SITES	\$ 924,363	\$ 885,055	\$ 937,019
GRAZING	\$ 769,696	\$ 255,177	\$ 1,818,574
RESIDENTIAL	\$ 1,102,681	\$ 1,343,670	\$ 1,820,796
<b>COMMERCIAL</b>			
COMMERCIAL ENERGY RESOURCES	\$ 19,448	\$ 20,865	\$ 22,812
COMMERCIAL INDUSTRIAL	\$ 125,870	\$ 68,097	\$ 82,308
COMMERCIAL MILITARY	\$ 110,436	\$ 110,305	\$ 139,976
COMMERCIAL OFFICE/RETAIL	\$ 823,487	\$ 852,954	\$ 964,519
COMMERCIAL RECREATION	\$ 415,127	\$ 314,398	\$ 322,031
<b>OTHER</b>			
CONSERVATION LEASES	\$ 180,938	\$ 146,993	\$ 148,078
GEOTHERMAL	\$ -	\$ 3,303	\$ 4,117
MINERAL	\$ 57,969	\$ 68,746	\$ 73,453
NON-COMMERCIAL RECREATION	\$ 91,701	\$ 77,395	\$ 80,496
OIL AND GAS LEASES	\$ 13,133	\$ 15,887	\$ 29,096
<b>Sub Total</b>	<b>\$ 4,972,734</b>	<b>\$ 4,426,598</b>	<b>\$ 6,752,062</b>
*LAND SALES/RECORDS	\$ 298,132	***	
*REAL ESTATE SERVICES	\$ 1,627		
<b>Grand Total</b>	<b>\$ 5,272,493</b>		

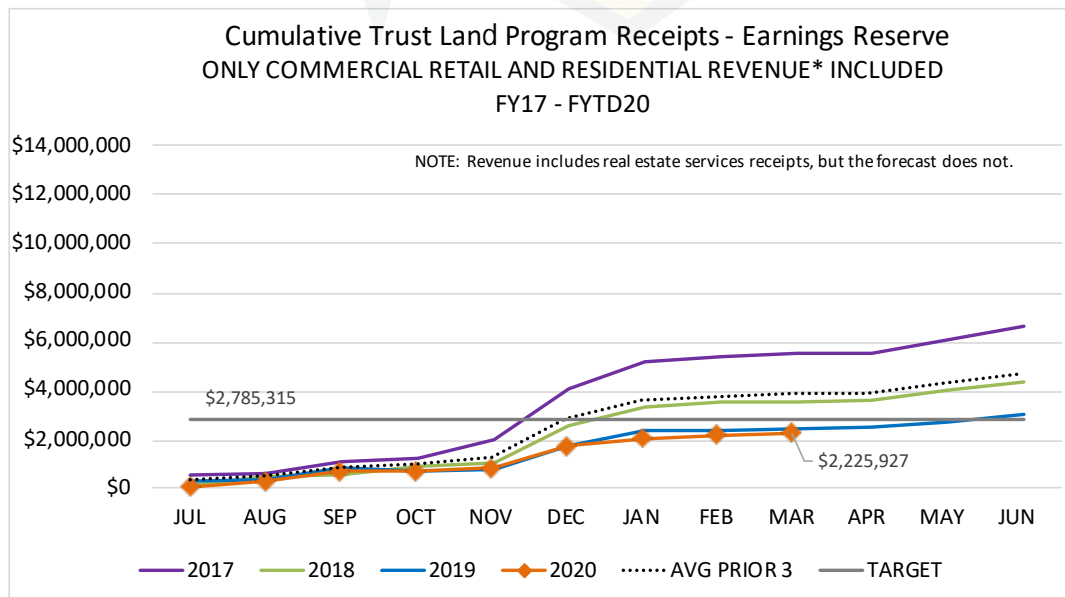
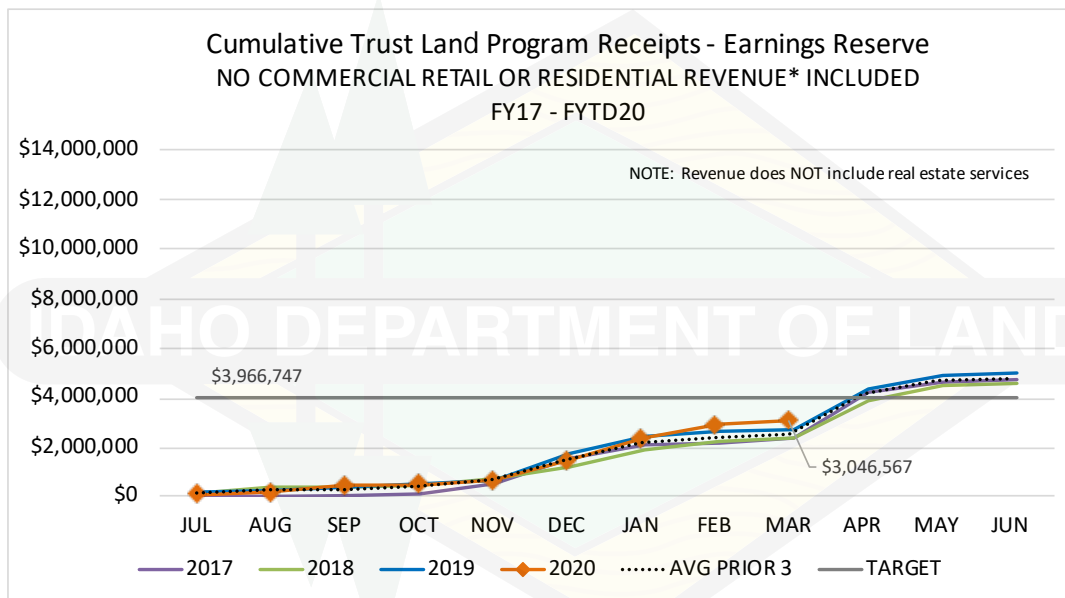
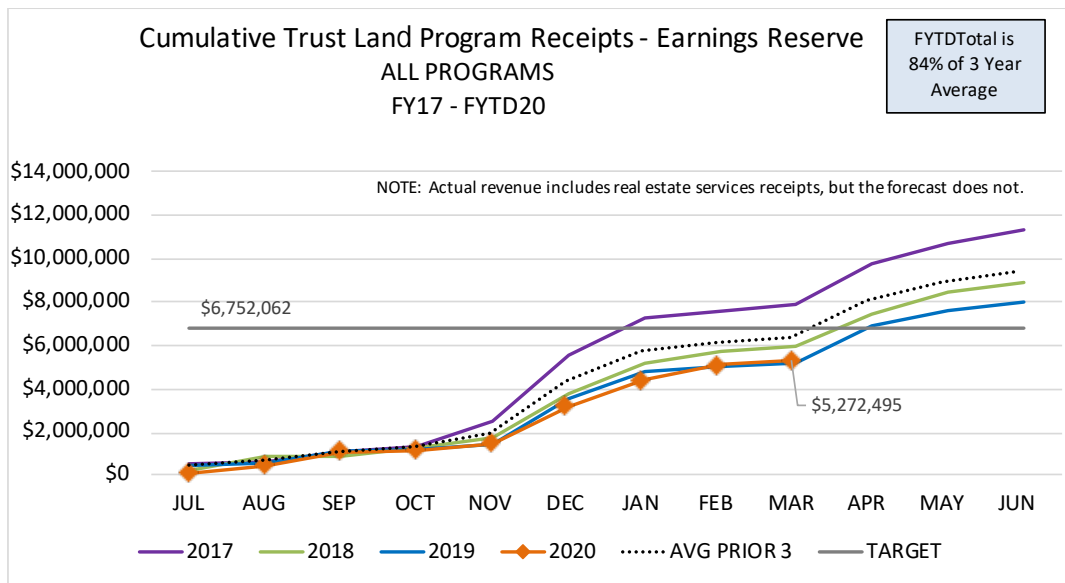
\* These categories are not included in the annual forecast.

\*\* These figures are based on "normal" timing of revenue/billing throughout the ye

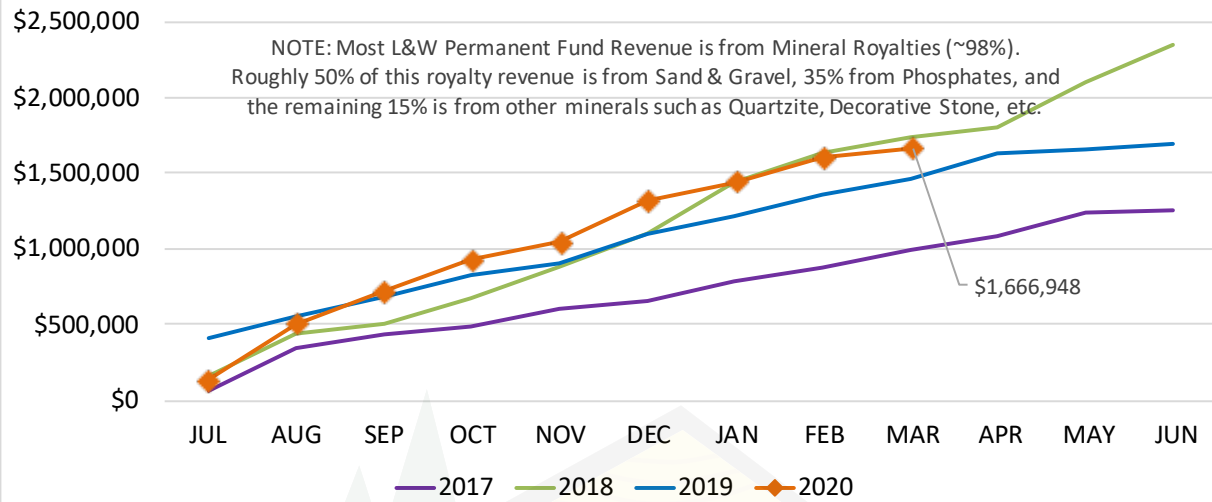
\*\*\* \$40,880 of "revenue" was removed from this total because it was passed through to a real estate broker

NOTE: The Department prepares the annual endowment revenue forecast by ASSET CLASS (not by Program)  
 For this table, we have attempted to further breakdown the forecast by program by applying trend data.





# Cumulative Trust Land Permanent Fund Revenue/Royalties (Does NOT include Land Bank Revenue) FY17 - FYTD20



IDAHO DEPARTMENT OF LANDS

## STATE BOARD OF LAND COMMISSIONERS

April 21, 2020  
2020 Legislative Summary

Status of legislation monitored by the Department of Lands

### IDL Rules

#### [20-0000-1900 - Omnibus Non-Fee](#)

**Status:** The Legislature did not pass a concurrent resolution rejecting any pending non-fee rules. As a result, all non-fee rules that were reviewed by the legislature have taken effect with an effective date of March 20, 2020.

#### [20-0000-1900F - Omnibus Fee](#)

**Status:** The Legislature did not pass a concurrent resolution approving any pending fee rules. The proactive action taken in February to conditionally re-approve fee rules upon *sine die* has ensured that they remain in effect as temporary rules.

#### [IDAPA 20.03.02](#) – Rules Governing Mined Land Reclamation.

HB 141 required a temporary rule to be in place by August 1, 2019. The purpose of these changes was to more accurately reflect current industry and regulatory practices. Negotiated rulemaking continues for a permanent rule.

**Status:** The proactive action taken in February to conditionally adopt temporary rules upon *sine die* has ensured that IDAPA 20.03.02 remains in effect as a temporary rule.

#### [IDAPA 20.03.03](#) – Rules Governing Administration of the Reclamation Fund.

Removes the mandatory requirement that all eligible operators participate in the Reclamation Fund, expands the acreage and reclamation cost liability limits, and allows more operations to use the fund for financial assurance.

**Status:** The proactive action taken in February to conditionally adopt temporary rules upon *sine die* has ensured that the pending rule for IDAPA 20.03.03 is in effect as a temporary rule.

#### [IDAPA 20.03.04](#) – Rules for the Regulation of Beds, Waters, and Airspace Over Navigable Lakes in the State of Idaho.

Allows the fee for encroachment permits to cover the actual processing cost.

**Status:** The proactive action taken in February to conditionally adopt temporary rules upon *sine die* has ensured that the pending fee rule for IDAPA 20.03.04 is in effect as a temporary rule.

## **IDL Legislation**

### **Budget**

[S1390 Appropriations-Department of Lands](#) – Relates to the appropriation to the Department of Lands for fiscal year 2021.

**Status:** LAW.

[H0536 Appropriations-Endowment Fund Investment Board](#) – Relates to the appropriation to the Endowment Fund Investment Board for fiscal year 2021.

**Status:** LAW.

### **Other Legislation Being Monitored**

#### **Mining**

[H0547 Mineral Rights-Leases](#) – Amends existing law to revise provisions regarding work and the lease of certain mineral rights in state lands and to provide the terms and conditions of certain mineral leases.

**Status:** LAW.

[HJM011 Itafos Conda](#) – Stating findings of the Legislature, supporting the Itafos Conda project, and requesting that the federal government commit adequate personnel and resources to the project.

**Status:** ADOPTED.

[S1216 Cyanidation Facilities](#) – Amends existing law to require permanent closure plans for cyanidation facilities prior to the issuance of permits and to prohibit the construction and operation of a cyanidation facility until the permittee submits proof of financial assurance for its permanent closure plan.

**Status:** LAW.

#### **Miscellaneous**

[H0359 Taxes](#) – Amends existing law to repeal the property tax and to increase the sales tax.

**Status:** House Ways and Means Committee – held.

[H0553 Taxation of Forest Land](#) – Amends and adds to existing law to provide for the assessment and taxation of forest land.

**Status:** LAW.

[H0557 Appropriations-Omnibus](#) – Reduces appropriations for fiscal year 2020.

**Status:** LAW.

[H0560a Property](#) – Amends existing law to provide for the valuation of agricultural land.

**Status:** LAW.

[H0617 Idaho Administrative Procedure Act](#) – Amends existing law to revise provisions regarding expiration of administrative rules and to remove provisions regarding expiration of administrative rules.

**Status:** House Passed 57-13-0. Senate 14th Order for Amendment.

[HCR038 Payments in Lieu of Taxes](#) – Stating findings of the Legislature and directing the Committee on Federalism to study the fair taxable value of certain federal lands.

**Status:** House Adopted. Senate State Affairs Committee – held.

[HJM015 NEPA Regulations](#) – Stating findings of the Legislature and supporting the effort by the Trump Administration, through the Executive Office of the President, to modernize and simplify NEPA regulations in order to streamline the review process without changing environmental standards.

**Status:** ADOPTED.

[HJR005 Constitutional Amendment](#) – Proposing an amendment to Article 7, Section 4 of the Idaho Constitution to provide for the taxation of public property leased to private entities if authorized by statute.

**Status:** House Revenue and Taxation Committee – held.

[S1283 Administrative Rules](#) – Amends existing law to provide for a petition for a waiver or variance from an administrative rule.

**Status:** LAW.

[S1311 Exploding Targets](#) – Adds to existing law to provide restrictions.

**Status:** Senate State Affairs Committee – held.

[S1317 Fish and Game](#) – Adds to existing law to prohibit interference with certain lands, highways, and navigable streams.

**Status:** Senate Resources and Environment Committee – held.

[S1344 State Budgets](#) – Amends existing law to revise requirements for reports by state agencies receiving federal funds.

**Status:** LAW.

[S1363aa Idaho Administrative Procedure Act](#) – Amends and adds to existing law to revise procedures for contested cases and hearing officers.

**Status:** FAILED Senate 15-19-1.

[S1368 Idaho Roadless Rule](#) – Amends existing law to revise provisions regarding the Idaho Roadless Rule Implementation Commission.

**Status:** LAW.

[S1372 Fire Protection Districts](#) - Adds to existing law to provide for the division of a fire protection district and to provide for elections for division of a district.

**Status:** Senate Passed 30-2-3; House Third Reading.

[SCR134 Interim Committee on Property Tax](#) – Stating findings of the Legislature and authorizing a legislative interim study committee on property taxes.

**Status:** ADOPTED.

LAND BANK AGING REPORT						
Current Remaining Principal Balance By Quarter Received - As of March 31, 2020						
FY Quarter IN	Public School	Normal Schools	State Hospital South	University of Idaho	All Endowments	FY Quarter EXPIRES
2017-02	\$ 2,852,032	\$ 2,161,254	\$ 9,515,446	\$ -	\$ 14,528,732	2022-02
2017-03	\$ 5,766,250	\$ 10,431,970	\$ 1,593,780	\$ -	\$ 17,792,000	2022-03
2017-04	\$ -	\$ 25,100	\$ -	\$ -	\$ 25,100	2022-04
2018-01	\$ -	\$ 3,331,000	\$ 4,439,000	\$ -	\$ 7,770,000	2023-01
2018-02	\$ 27,869,832	\$ -	\$ 125,500	\$ -	\$ 27,995,332	2023-02
2018-03	\$ -	\$ 2,000,712	\$ 829,888	\$ 5,650,029	\$ 8,480,629	2023-03
2018-04	\$ 10,500	\$ -	\$ -	\$ -	\$ 10,500	2023-04
2019-01	\$ -	\$ 2,428,000	\$ 1,442,000	\$ -	\$ 3,870,000	2024-01
2019-02	\$ 25,136,124	\$ -	\$ -	\$ -	\$ 25,136,124	2024-02
2019-03	\$ -	\$ -	\$ -	\$ -	\$ -	2024-03
2019-04	\$ -	\$ -	\$ -	\$ -	\$ -	2024-04
2020-01	\$ -	\$ 2,582,500	\$ 1,670,000	\$ -	\$ 4,252,500	2025-01
2020-02	\$ 12,793,400	\$ -	\$ -	\$ -	\$ 12,793,400	2025-02
2020-03	\$ 866,000	\$ -	\$ -	\$ -	\$ 866,000	2025-03
TOTAL PRINCIPAL REMAINING	\$ 75,294,138	\$ 22,960,536	\$ 19,615,614	\$ 5,650,029	\$ 123,520,317	

LAND BANK CASH BALANCE (with Interest)	\$ 79,385,877	\$ 24,142,211	\$ 20,858,923	\$ 5,902,981	\$ 130,289,992
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M. Dean Buffington :: Chairman  
Jerry F. Aldape      Gary L. Mahn  
Warren R. Bakes      Richelle A. Sugiyama  
Steven C. Harris      Thomas J. Wilford  
Irving Littman      Chuck Winder  
Chris J. Anton :: Manager of Investments

## Monthly Report to the Board of Land Commissioners

### Investment performance through March 31, 2020

**Month: -10.9%      Fiscal year: -9.5%**

The world has changed dramatically since the outbreak of the COVID-19 earlier this year. As of March 31, 2020, there were 877,422 confirmed cases in 180 countries resulting in 43,537 deaths (for more current data see [www.cornoavirus.jhu.edu/map.html](http://www.cornoavirus.jhu.edu/map.html)). Massive efforts are underway to test those with symptoms, treat those in need and slow the spread of the virus, but the world is just starting to come to grips with the human and economic toll.

Efforts to slow the spread of the virus are focused on isolation; including travel restrictions, school and business closures and other forms of social distancing. These efforts are anticipated to slow the spread of the virus, but they come at the cost of bringing the economy to a screeching halt. Some have predicted that the GDP will contract more quickly for the next two quarters than it did during the financial crisis. Unemployment claims are increasing dramatically (up nearly 10 million last two weeks), industrial output is slowing and individuals and business are beginning to feel financial stress. Governments around the world are providing monetary and fiscal support, however, the longer it takes to control the virus the greater the social and economic impact.

The financial markets don't know how to quantify the impact of the crisis because the duration and magnitude are unclear. It is unlikely financial markets will stabilize until spread of the virus is contained and a vaccine developed, but the \$2 trillion stimulus package by the U.S. government and the extraordinary efforts by the Fed and other central banks to provide liquidity in the credit markets has provided some welcome relief.

Financial markets sold-off sharply during the month of March in response to these concerns. The DJIA had its worst quarter since 1987 (-23%), the S&P500 its worst quarterly drop since the financial crisis (-20%) and the Russell 2000 its worst quarter ever (-31%). Oil ended with its worst quarterly performance in history, with both Brent and WTI losing almost two-thirds of their value.



### **Status of endowment fund reserves**

Distributions for FY2020 and FY2021 are well secured. Estimated reserves as of March 31, 2020, were 5.3 years for public schools and 5.8-7.1 years for the other endowments based on anticipated FY2021 distributions.

### **Significant actions of the Endowment Fund Investment Board**

None.

### **Compliance/legal issues, areas of concern**

*Material deviations from Investment Policy:* None.

*Material legal issues:* None.

*Changes in board membership or agency staffing:* None.

### **Upcoming issues/events**

EFIB Board Meeting – May 19th

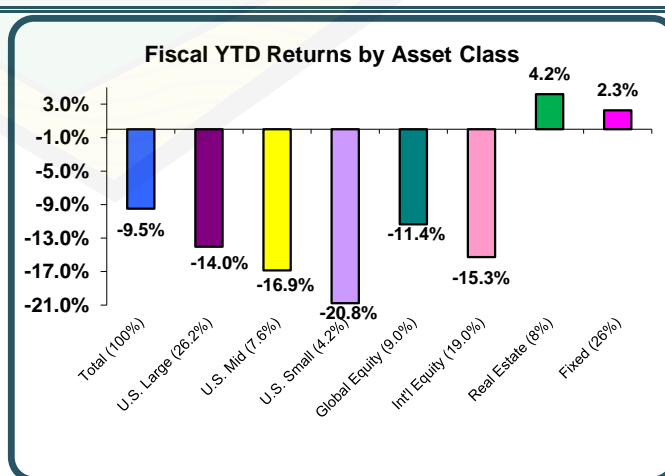
IDAHO DEPARTMENT OF LANDS

	Month	FYTD
<b>Beginning Value of Fund</b>	<b>\$ 2,334,846,438</b>	<b>\$ 2,318,780,865</b>
Distributions to Beneficiaries	(6,743,167)	(60,688,503)
Land Revenue net of IDL Expenses	7,009,988	67,094,600
Change in Market Value net of Investment Mgt. Expenses	(255,678,163)	(245,751,866)
<b>Current Value of Fund</b>	<b>\$ 2,079,435,096</b>	<b>\$ 2,079,435,096</b>

	Current Month	Calendar Y-T-D	Fiscal Y-T-D	One Year	Three Year	Five Year	Ten Year
<b>Gross Returns</b>							
<b>Total Fund</b>	<b>-10.9%</b>	<b>-15.3%</b>	<b>-9.5%</b>	<b>-5.7%</b>	<b>3.4%</b>	<b>3.8%</b>	<b>7.2%</b>
Total Fund Benchmark*	-9.2%	-13.8%	-7.9%	-4.7%	3.3%	3.9%	6.8%
<b>Total Fixed</b>	<b>-3.6%</b>	<b>-0.5%</b>	<b>2.3%</b>	<b>5.4%</b>	<b>3.7%</b>	<b>2.7%</b>	<b>3.5%</b>
85% BB Agg, 15% TIPS	-0.8%	2.9%	5.4%	8.6%	4.6%	3.3%	3.8%
<b>Total Equity</b>	<b>-14.2%</b>	<b>-21.7%</b>	<b>-14.8%</b>	<b>-10.7%</b>	<b>2.7%</b>	<b>3.8%</b>	<b>8.2%</b>
38% R3 19% Ax 9% AC	-13.9%	-21.7%	-14.5%	-11.3%	1.9%	3.7%	7.6%
<b>Domestic Equity</b>	<b>-15.2%</b>	<b>-22.5%</b>	<b>-15.4%</b>	<b>-11.7%</b>	<b>3.2%</b>	<b>4.9%</b>	<b>10.3%</b>
Russell 3000 (R3)	-13.8%	-20.9%	-12.7%	-9.1%	4.0%	5.8%	10.1%
<b>Global Equity</b>	<b>-11.7%</b>	<b>-17.8%</b>	<b>-11.4%</b>	<b>-6.8%</b>	<b>3.7%</b>	<b>3.1%</b>	
MSCI ACWI (AC)	-13.5%	-21.4%	-14.3%	-11.3%	1.5%	2.8%	
<b>Int'l. Equity</b>	<b>-13.5%</b>	<b>-21.9%</b>	<b>-15.3%</b>	<b>-10.4%</b>	<b>1.5%</b>	<b>1.4%</b>	<b>3.3%</b>
MSCI ACWI ex-US (Ax)	-14.5%	-23.4%	-18.0%	-15.6%	-2.0%	-0.6%	2.1%
<b>Real Estate</b>			<b>4.2%</b>	<b>5.7%</b>	<b>6.8%</b>		
				4.4%	6.1%		

\* Benchmark: 38% Russell 3000 19% ACWI ex-US 9% AC 26% BB Agg. 8% ODCE

	Mkt Value (\$M)	Allocation
<b>Domestic Equity</b>	<b>\$ 811.1</b>	<b>39.0%</b>
Large Cap	559.0	26.9%
Mid Cap	161.1	7.7%
Small Cap	90.9	4.4%
<b>Global Equity</b>	<b>193.9</b>	<b>9.3%</b>
<b>Int'l Equity</b>	<b>416.0</b>	<b>20.0%</b>
<b>Fixed Income</b>	<b>443.5</b>	<b>21.3%</b>
<b>Real Estate</b>	<b>196.2</b>	<b>9.4%</b>
<b>Cash</b>	<b>18.8</b>	<b>0.9%</b>
<b>Total Fund</b>	<b>\$ 2,079.4</b>	<b>100.0%</b>



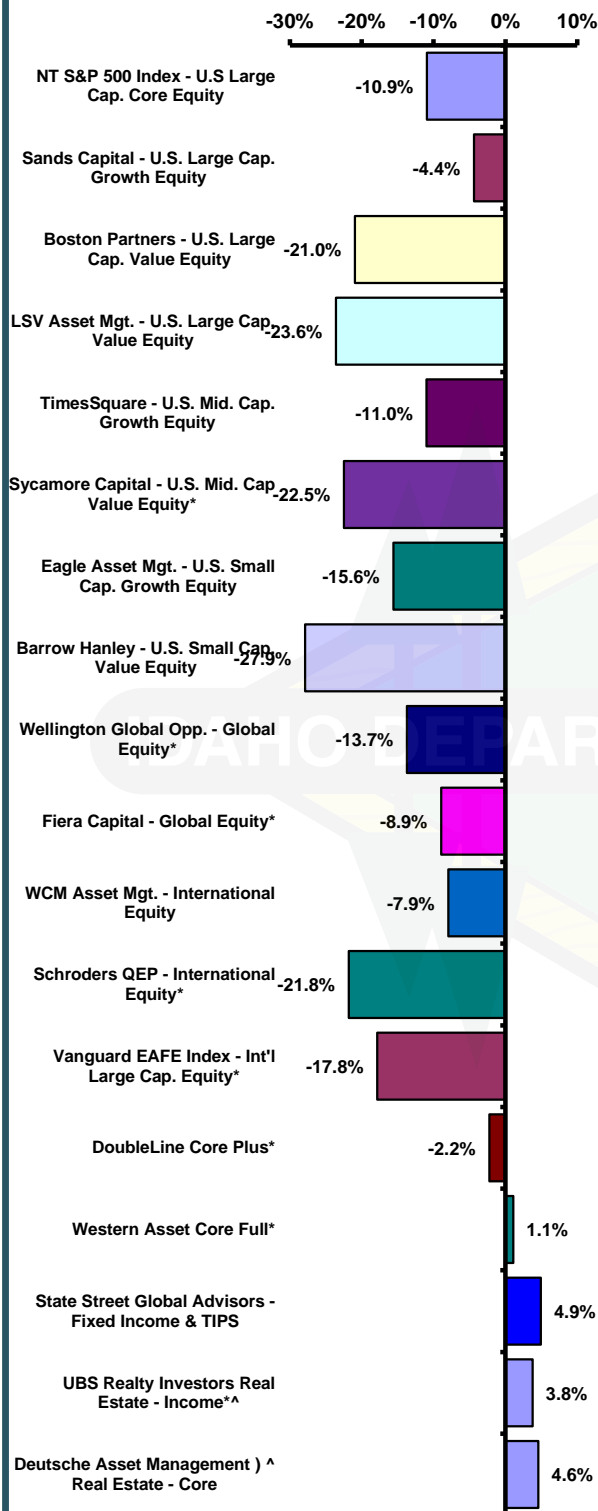
## Endowment Fund Staff Comments:

The world has changed dramatically since the outbreak of the COVID-19. As of April 6, 2020, there have been 1.3 million confirmed cases in 180 countries resulting in 71,000 deaths. Massive efforts are underway to test those with symptoms, treat those in need and slow the spread of the virus, but the world is just starting to come to grips with the human and economic toll. Efforts to slow the spread of the virus are focused on isolation; these efforts are anticipated to slow the spread of the virus, but they come at the cost of bringing the economy to a screeching halt. Unemployment claims are increasing dramatically, industrial output is slowing and individuals and business are beginning to feel financial stress. Governments around the world are providing monetary and fiscal support, however, the longer it takes to control the virus the greater the social and economic impact. The financial markets don't know how to quantify the impact of the crisis because the duration and magnitude are unclear. It is unlikely financial markets we will stabilize until spread of the virus is contained and a vaccine developed, but the \$2 trillion stimulus package by the U.S. government and the extraordinary efforts by the Fed and other central banks to provide liquidity in the credit markets has provided some welcome relief. Financial markets sold-off sharply during the month of March in response to these concerns. The DJIA had its worst quarter since 1987 (-23%), the S&P500 its worst quarterly drop since the financial crisis (-20%) and the Russell 2000 its worst quarter ever (-31%). Oil ended with its worst quarterly performance in history, with both Brent and WTI losing almost two-thirds of their value. The endowment fund was down -10.9% during March, -15.3% for the quarter and -9.5% fiscal year-to-date.

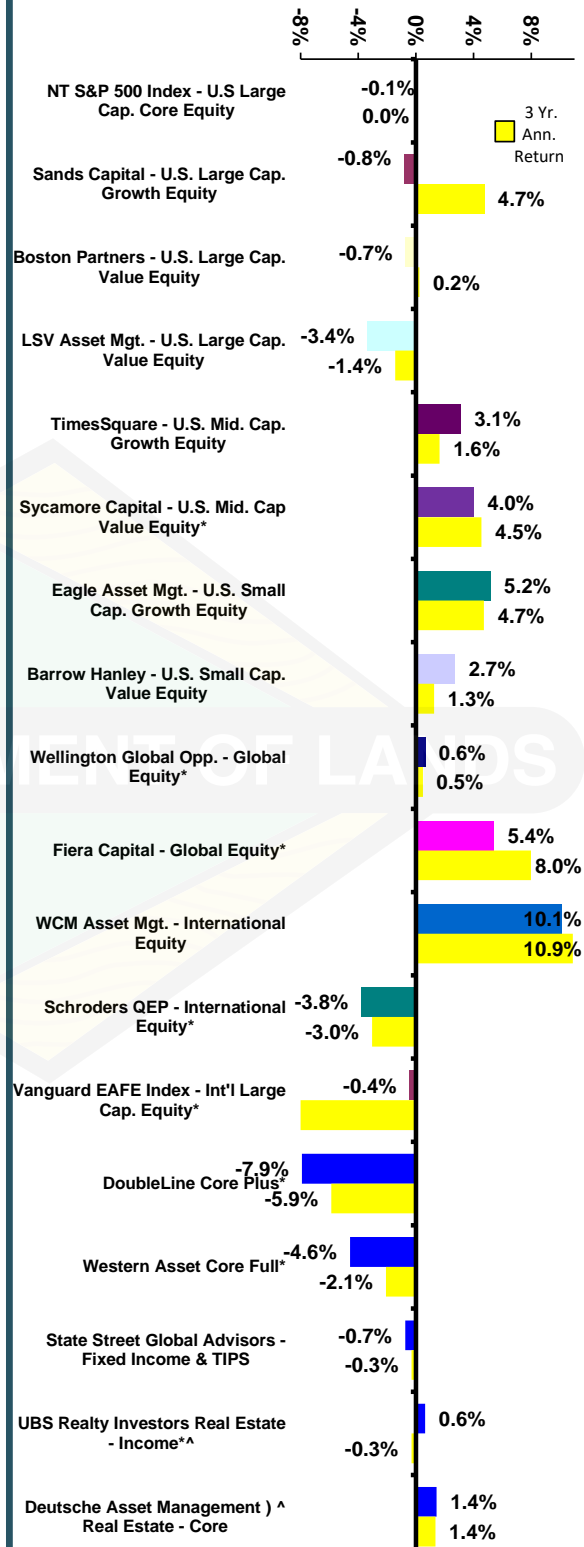
March 31, 2020

# INVESTMENT REPORT

## FYTD Manager Returns



## Manager Relative Returns Fiscal YTD and 3-Yr Ave. Annualized\*



\*ITD return used when manager has less than 3 years. ^ Most recent valuation.

# STATE BOARD OF LAND COMMISSIONERS

April 21, 2020  
Consent Agenda

## Subject

Timber License Plate Fee Recommendations

## Question Presented

Shall the Board direct the Department to proceed with the recommended educational projects developed with the Idaho Forest Products Commission?

## Background

Idaho's timber license plate is established in Idaho Code § 49-417A and has been available since 1997. Twenty-five dollars of each initial fee and fifteen dollars of each renewal fee are deposited in the Idaho Department of Lands fund for reforestation activities or for education. Educational efforts must help build public understanding of reforestation or the management and conservation of forest resources on public and private lands in Idaho. Such funds are to be expended as agreed by the State Board of Land Commissioners upon recommendations developed jointly by the Idaho Department of Lands (IDL) and the Idaho Forest Products Commission (IFPC).

## Discussion

In calendar year 2019, a total of 2,590 timber plates were sold, transferred or renewed. As of March 2, 2020, a total of \$42,115 unobligated funds is in this account. The Department and Idaho Forest Products Commission have jointly agreed on a plan to expend \$50,000 on educational efforts for calendar year 2020 (Attachment 1). Fees from new and renewal license plates continue to accrue monthly and the Department anticipates \$50,000 will be in place by the time those funds are needed. Funds will only be withdrawn if available.

## Recommendation

Direct the Department to proceed with the recommended educational projects developed jointly with the Idaho Forest Products Commission.

## Board Action

## Attachments

1. IDL/IFPC Recommendations



Post office Box 855  
Boise, Idaho 83701  
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Toll Free: 800-ID-WOODS  
Edu. (208) 334-4061  
Fax (208) 334-3449  
email: ifpc@idahoforests.org  
plt@idahoforests.org  
www.idahoforests.org

**IDAHO FOREST  
PRODUCTS  
COMMISSION**

**TO:** State Board of Land Commissioners

David Gabrielsen  
District 1 - (208) 660-3701

Jack A. Buell  
District 2 - (208) 245-2501

Jesse D. Short  
District 3 - (208) 848-2301

Mark Mahon  
District 4 - (208) 741-9067

Trevor Stone  
At-Large - (208) 748-2038

Jennifer Okerlund  
Director

Michelle Youngquist  
Education Coordinator

**FROM:** Jennifer Okerlund - Director, Idaho Forest Products Commission  
Dustin Miller – Director, Idaho Department of Lands

**RE:** Timber License Plate Fee Recommendations

Idaho's Timber License Plate has been available since 1997. In the year 2019, a total of 2,590 timber plates were sold, transferred or renewed. Twenty-five dollars of each initial fee and fifteen dollars of each renewal fee are available for educational efforts or reforestation activities.

The following list of educational projects is recommended by the Idaho Forest Products Commission and the Idaho Department of Lands to be supported by Timber License Plate fees as authorized in Section 49-417A, Idaho Code:

**1. Arbor Day Billboard Campaign**

**Background:** Arbor Day is a special holiday set aside to appreciate and plant trees. This project would provide an educational statewide billboard campaign in conjunction with the Arbor Day celebration. The billboards would target the general public with a positive message about Idaho forests. This campaign would be part of a statewide Arbor Day 2020 project.

**Plate Fees:** \$ 17,000

**Total Project Estimated Costs:** \$ 27,000

**2. Seedlings**

**Background:**

This project would provide 20,000 seedlings for the Arbor Day 2020 celebration and educational expos. The seedlings are grown at the University of Idaho and packaged with information about reforestation and an educational brochure with information about Arbor Day and Idaho's forests will also accompany seedlings. The seedlings would be available throughout the state at various points of distribution.

**Amount Requested from Timber Plate Fees:** \$ 4,500

**Total Project Estimated Costs:** \$ 13,750

(Over)

### 3. Arbor Day 2020

**Background:** Each year the last Friday in April is designed as Arbor Day, a special holiday celebrating trees. The Arbor Day 2020 project includes promotional materials, brochures and posters with information about Idaho's forests and reforestation, a seedling give-away, television and radio public service announcements, social media postings, a special Arbor Day t-shirt and event at the statehouse on Arbor Day. There will also be programs for Idaho educators focusing on the many things renewable trees bring to our lives and need for good forest stewardship, management and reforestation.

<b>Amount Requested from Timber Plate Fees:</b>	\$ 2,000
<b>Total Project Estimated Costs:</b>	\$ 10,500

### 4. Arbor Day Photo Contest

**Background:** In 2011, IFPC began a statewide photo contest providing an opportunity for Idaho students to engage in Arbor Day and consider the role trees as a renewable resource play in their daily lives. The project has been a true success with hundreds of 5<sup>th</sup> to 12<sup>th</sup> grade students participating each year. The contest was developed with input from the Idaho Department of Education and asks students to show what they see when they "Look to the Forest" through a photograph and to describe their work in an artist statement. Cash prizes are awarded to the winners of three age categories. One grand prize is honored at the state Arbor Day Celebration. Winning photos are used to promote Arbor Day and forest education in Idaho.

<b>Amount Requested from Timber Plate Fees:</b>	\$ 500
<b>Total Project Estimated Costs:</b>	\$ 1,000

### 5. Arbor Day Tree Planting Effort

**Background:** Attached

<b>Amount Requested from Timber Plate Fees:</b>	\$ 2,000
<b>Total Project Estimated Costs:</b>	\$ 2,000

### 6. Teachers= Sustainable Forest Tour

**Background:** This project brings provides forty-three educators with an exceptional hands-on opportunity to learn about sustainable forest management and the forest products industry during a 4-day forest tour. Its goal is to provide an opportunity for educators to talk directly with the people that grow, manage, harvest and process trees into useful wood products as well as the managers who care for the air, water, soil, fish and wildlife. The 2020 Sustainable Forest Tour is scheduled for June 22-26.

<b>Amount Requested from Timber Plate Fees:</b>	\$ 1,500
<b>Total Project Estimated Costs:</b>	\$ 45,000

(Over)

## 7. Forest Tour

**Background:** This project provides an on-the-ground educational opportunity for Idaho leaders to learn about the forests of Idaho and gain a first-hand understanding of forest management. In the past, *Miracle at Work Forest Tours* have been conducted in central and north Idaho and feature private, state and federal forest managers and resource professionals.

<b>Amount Requested from Timber Plate Fees:</b>	\$ 2,500
<b>Total Project Estimated Costs:</b>	\$ 24,000

## 8. Project Learning Tree

**Background:** Project Learning Tree is a nation-wide, award winning environmental education program. PLT is based on the principles of teaching youths how to think, not what to think@ and preparing students to make wise decisions about resource use and conservation. Since 1994, over 9,600 teachers have participated in PLT workshops with the potential to reach thousands of Idaho students *each* year.

<b>Amount Requested from Timber Plate Fees:</b>	\$ 20,000
<b>Total Project Estimated Costs:</b>	\$ 150,000

<b>Total License Fee Appropriation Request</b>	<b><u>\$ 50,000</u></b>
--	-------------------------





## Coeur d'Alene Staff Headquarters

3284 W. Industrial Loop, Coeur d'Alene, ID 83815

Telephone: Michael Beaudoin - (208) 666-8621

Joyce S. Jowdy - (208) 666-8622

Fax No. (208) 769-1524

# Memorandum

**TO:** Dustin T. Miller, Director, IDL  
Jennifer Okerlund, Director, IFPC

**FROM:** Michael Beaudoin, UCF Program Manager *MB*

**SUBJECT:** Arbor Day Funding Request

**DATE:** February 5, 2020

**CC:** Craig Foss, Forestry & Fire Division Administrator and Ara Andrea, Chief Forestry Assistance Bureau

---

I am writing to request \$2,000 from the Idaho Timber Special License Plates program to assist Idaho Department of Lands area offices in promoting tree planting on public and private lands in and around Idaho communities. This funding request is for FY 2020, as Timber license plate funds are available.

The Department of Lands will use the \$2,000 to encourage IDL area field offices to help communities plan and conduct local Arbor Day celebrations. A similar project conducted in the spring of 2019 received outstanding support from IDL field offices and the communities they assisted. Funds were used to purchase trees, Arbor Day T-shirts, and other educational materials for communities throughout Idaho.

The Arbor Day project provided many opportunities for partnerships between urban and rural forestry interests. IDL foresters worked with local governments, schools, service clubs, businesses, USFS offices, and forest products companies to plan and conduct local celebrations.

Thank you for your consideration of this request. I will be glad to provide additional information as needed, and look forward to your response.



# STATE BOARD OF LAND COMMISSIONERS

April 21, 2020  
Consent Agenda

## Subject

Results of February 2020 Grazing Lease Live Auctions

## Question Presented

Shall the Board direct the Department to award grazing leases to the highest bidders at the live auctions?

## Background

During the open application period for grazing leases G430031 and G430029, the Idaho Department of Lands (Department) received three applications for each of the expiring grazing leases. In accordance with IDAPA 20.03.14.105.01, when two or more eligible applicants apply to lease the same state endowment trust land, the Department shall hold a live auction. Department staff conducted the live auctions and determined the highest bidders for each of the leases in accordance with existing statutes, rules, and procedures.

## Discussion

Two live auctions were held in the Maggie Creek Supervisory Area office on February 19, 2020. The premium bid for the auction of lease G430031 was \$77,000 and the premium bid for lease G430029 was \$351. Both grazing leases are offered on 10-year terms. Attachment 1 is a summary of the results of the live auctions. The Department informed all auction participants they had 20 days from the date of the auction to file an appeal with the State Board of Land Commissioners (Land Board). The 20-day appeal period has expired, and no appeals were received by the Department.

According to IDAPA 20.03.14.106, a review and approval of live auction results by the Land Board is required prior to lease issuance. Idaho Code § 58-310(4) provides that the Land Board has the right to reject any and all bids made at the live auctions when there has been fraud or collusion, or for any reason, which in the judgment of the Land Board justifies the rejection of the bids. The Department completed the lease auction process in accordance with existing statutes, rules, and procedures and did not observe any indication of fraud or collusion related to this process.

## Recommendation

Direct the Department to award grazing leases to Whitebird Grazing Association (G430031) and Janet and Jason Klement (G430029).

## **Board Action**

## **Attachments**

1. Summary of February 2020 Grazing Live Auctions



Summary of February 2020 Grazing Live Auctions

Supervisory Area	Lease Number	Endowment	Lease Term (Years)	AUMs	Acres	Improvement Value	# of Participants	# of Bids	High Bid Amount	High Bid per Year, per AUM	Effective 2020 AUM Rate*	High Bidder
Maggie Creek	G430031	PS	10	803	9,269	\$27,640.00	3	33	\$77,000.00	\$9.59	\$16.91	Whitebird Grazing Association
Maggie Creek	G430029	PS	10	100	1,392	\$0.00	3	3	\$351.00	\$0.35	\$7.67	Janet and Jason Klement
<b>Total :</b>									<b>\$77,351.00</b>			

\* Effective 2020 AUM Rate is calculated by adding the 2020 AUM Rate (\$7.32) and the High Bid per Year, per AUM.

2020: 8%, or 13 out of 168, expiring grazing leases were conflicted

Historical Average: 5% of expiring grazing leases are conflicted

# STATE BOARD OF LAND COMMISSIONERS

April 21, 2020  
Consent Agenda

## Subject

Application for Dredge/Placer Permit No. P800353, Doloughan Construction LLC, 898 Lemhi Road, Salmon, Idaho 83467.

## Question Presented

Shall the Board approve issuance of Dredge/Placer Permit No. P800353 to Doloughan Construction LLC?

## Description

A 29-acre tract of land located in portions of the SE¼SW¼, NE¼SW¼, NW¼SE¼, and SW¼NE¼ Section 29, Township 22 North, Range 20 East, B.M., Lemhi County. This land is administered by the United States Forest Service (USFS).

## Background

On March 5, 2020 Rory Doloughan of Doloughan Construction LLC submitted a dredge/placer mining permit application covering 29 acres of federal land administered by the USFS. The general location is 11 miles west-northwest of Salmon, Idaho. The proposed mining operation is in the Napias Creek drainage, a tributary of Panther Creek.

## Discussion

Doloughan Construction LLC proposes mining two to five acres a year over approximately 10 years. Timber would first be removed and placed on the downhill side of the excavation activity. Topsoil would then be removed and stockpiled. Excavation would start on the downhill side of the property and then work uphill. This will allow for backfilling and concurrent reclamation as mining progresses. A portable wash plant would be used within the disturbed area to extract gold.

Water used for the operation would be contained within a closed-loop system of lined ponds. Ponds will be lined with a 40mm heavy-duty PVC rubber liner. Best Management Practices and design features will be used to ensure secondary containment of each pond.

Reclamation would take place concurrently with disturbance. Gravels would be shaped to pre-mining grade with topsoil and woody debris placed on the backfilled material. Disturbed areas will be replanted with a native seed mix as well as lodgepole pine transplants. Ponds used for the operation will be reclaimed as well. The operator expects a net increase of reclamation due to legacy mining disturbance existing in the proposed mining area.

Mining will occur between April and November each year as weather conditions permit.

The application was circulated to the Idaho Department of Environmental Quality, Idaho Department of Fish and Game, Idaho Department of Water Resources, and U.S. Forest Service for review. No comments or objections were received from any of the Idaho agencies. The USFS has completed an Environmental Assessment on the proposed project and the District Ranger signed the supporting decision on October 3, 2019. A reclamation bond in the amount of \$86,300 will be submitted to the USFS.

### **Recommendation**

Approve issuance of the attached permit subject to the plan submitted in the application, compliance with the Rules and Regulations Governing Dredge and Placer Mining Operations in Idaho, and submission of the \$86,300 bond to the USFS.

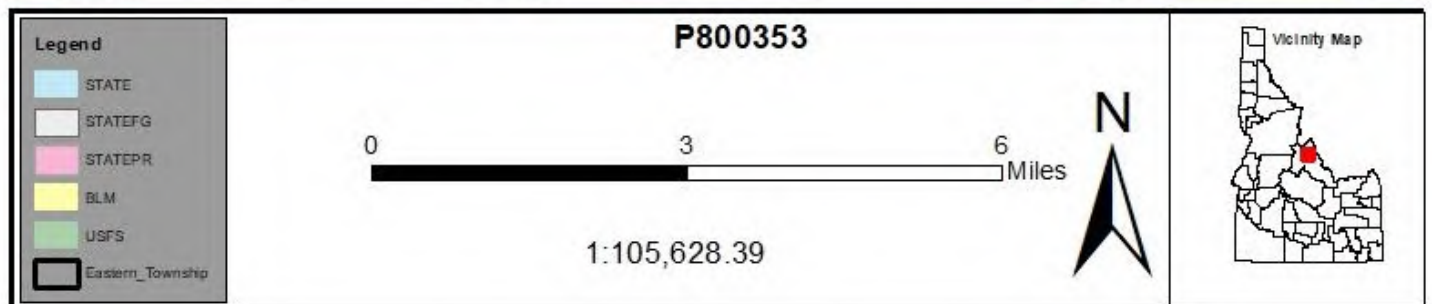
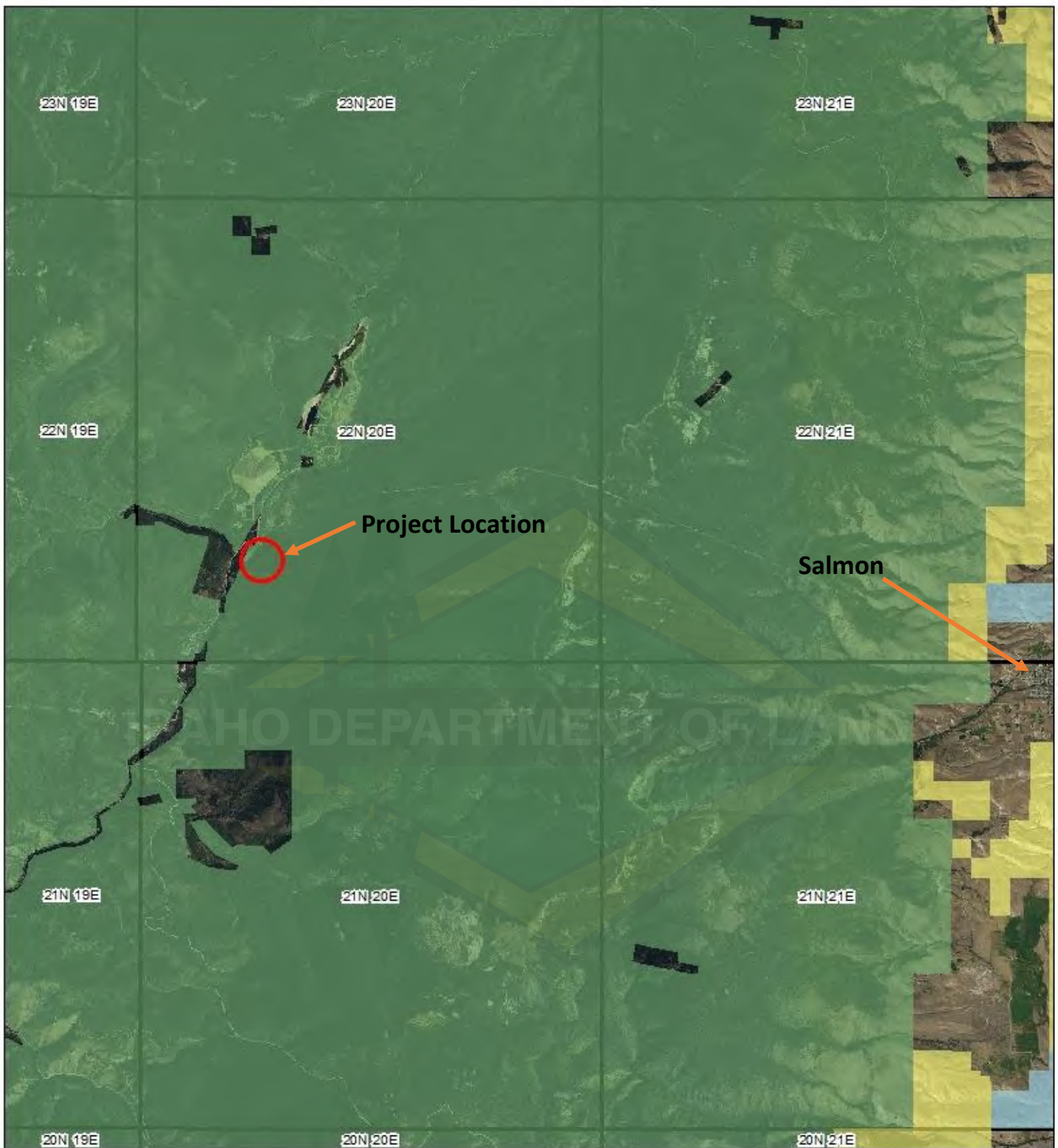
### **Board Action**

### **Attachments**

1. Location Map
2. Draft Permit

A large, light gray watermark of the Idaho Department of Lands logo is centered on the page. The logo features a stylized mountain range with a central peak, a river flowing through a valley, and a sun or moon in the background. The text "IDAHO DEPARTMENT OF LANDS" is written in a bold, sans-serif font across the middle of the logo.

IDAHO DEPARTMENT OF LANDS







STATE OF IDAHO  
DEPARTMENT OF LANDS

**DREDGE/PLACER MINING PERMIT NO. P800353**

Pursuant to Dredge/Placer Mining Permit Application No. P800353, approved by the State Board of Land Commissioners on 4/21/2020, **Doloughan Construction LLC, 898 Lemhi Rd Salmon, ID 83467**, is hereby authorized to conduct a placer mining operation in conformity with the Idaho Dredge and Placer Mining Protection Act (Idaho Code § 47-13) and the Rules Governing Dredge and Placer Mining Operations in the State of Idaho, on the following described lands:

A 29-acre tract located in portions of the SE $\frac{1}{4}$ SW $\frac{1}{4}$ , NE $\frac{1}{4}$ SW $\frac{1}{4}$ , NW $\frac{1}{4}$ SE $\frac{1}{4}$ , and SW $\frac{1}{4}$ NE $\frac{1}{4}$ , Section 29, Township 22 North, Range 20 East, B.M., Lemhi County. The land is owned by The United States Forest Service. The permit area is more fully set forth in Dredge/Placer Permit File No. P800353 with the Idaho Department of Lands.

This permit is issued subject to and in compliance with the plan of operation and the following stipulations:

1. All refuse, chemical and petroleum products and equipment shall be stored and maintained in a designated location 100 feet away from any surface water and disposed of in such a manner as to prevent their entry into surface and groundwater.
2. State water quality standards will be maintained at all times during the life of the operation. In the event that a violation of water quality standards occurs, mining operations on the site will cease immediately, corrective action will be taken, and the Idaho Department of Environmental Quality will be notified.
3. There will be a 20-foot buffer of undisturbed riparian vegetation maintained between the mining operation and any streams at all times.
4. Erosion and non-point source pollution shall be minimized by careful design of the site access and implementing Best Management Practices which shall include, but are not limited to:
  - a. Diverting all surface water flows around the mining operation;
  - b. Removing and stockpiling vegetation and slash, except timber, for use in erosion control and reclamation;
  - c. Removing and stockpiling all topsoil or suitable plant growth material for use in reclamation;
  - d. Removing and stockpiling fine sand, silt and clay from the settling ponds for use in reclamation; and
  - e. Constructing settling ponds below ground level when conditions allow.
5. A bond of \$86,300 will be held by the United States Forest Service (USFS), with a copy of the bond or the USFS bond approval provided to the Idaho Department of Lands. If this bond is released by the USFS prior to the completion of reclamation as described in this permit, a bond of \$1,800 per affected acre with a maximum of \$52,200 will be submitted to and maintained with the Idaho Department of Lands.
6. Upon placement of equipment and construction of settling ponds, permittee will provide notification to the Department of Lands prior to conduct of actual mining operations.

7. If a stream channel alteration is involved, a Stream Channel Alteration Permit shall be obtained from the Idaho Department of Water Resources and shall govern the diversion of the stream and reconstruction of the permanent channel of the waterway involved.
8. All water intake lines will be screened to prevent fish entrapment, and diversion dams must allow for fish passage.
9. The permitted area is to be reclaimed concurrent with mining, according to the approved plan.
10. Acceptance of this permit does not preclude the operator from obtaining other necessary permits and approvals from state and federal authorities, i.e. Storm Water Pollution Prevention Plan (SWPPP), waste water generation and/or air quality permits, consultation with the National Oceanic and Atmospheric Administration Fisheries, U.S. Army Corps of Engineers 404 Permit and Stream Channel Alteration Permits for each production process.

Failure to comply with the Idaho Dredge and Placer Mining Protection Act, the Rules Governing Dredge and Placer Mining in Idaho, the plan of operation and these stipulations may result in cancellation of this permit.

It is understood and agreed that all of the stipulations of this permit must be complied with in the conduct of the mining operation.

\_\_\_\_\_  
DUSTIN T. MILLER, Director

\_\_\_\_\_  
Applicant

\* \* \* \* \*

STATE OF \_\_\_\_\_ )  
: ss  
COUNTY OF \_\_\_\_\_ )

On this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_, before me, a notary public, personally appeared \_\_\_\_\_, known to me to be the person whose name is subscribed to the within instrument, and acknowledged by me that he executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year first written above.

(SEAL)

\_\_\_\_\_  
Notary Public  
My Commission Expires: \_\_\_\_\_



\*\*\*\*\*

STATE OF \_\_\_\_\_)

: ss

COUNTY OF \_\_\_\_\_)

On this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, before me, a notary public, personally appeared \_\_\_\_\_, known to me to be the person whose name is subscribed to the within instrument, and acknowledged by me that he executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year first written above.

(SEAL)

IDAHO DEPARTMENT OF LANDS

Notary Public

My Commission Expires: \_\_\_\_\_



## Idaho State Board of Land Commissioners

Brad Little, Governor and President of the Board

Lawrence E. Denney, Secretary of State

Lawrence G. Wasden, Attorney General

Brandon D Woolf, State Controller

Sherri Ybarra, Superintendent of Public Instruction

Dustin T. Miller, Director and Secretary to the Board

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*Be it remembered, that the following proceedings were had and done by the State Board of Land Commissioners of the State of Idaho, created by Section Seven (7) of Article Nine (IX) of the Constitution.*

### Draft Minutes

#### State Board of Land Commissioners Regular Meeting

February 18, 2020

The regular meeting of the Idaho State Board of Land Commissioners was held on Tuesday, February 18, 2020 in the Boise City Council Chambers, Boise City Hall, 3rd Floor, 150 N. Capitol Blvd., Boise, Idaho. The meeting began at 9:00 a.m. The Honorable Governor Brad Little presided. The following members were in attendance:

Honorable Governor Brad Little  
Honorable Secretary of State Lawrence Denney  
Honorable Attorney General Lawrence Wasden  
Honorable State Controller Brandon Woolf  
Honorable Superintendent of Public Instruction Sherri Ybarra

For the record, all Board members were present.

#### 1. **Department Report** – Presented by Dustin Miller, Director

##### **Endowment Transactions**

###### A. Timber Sales – January 2020

**Discussion:** Governor Little asked if the Department is forecast to be \$7 million below timber receipts from last year. Deputy Director Bill Haagenon said yes, the Department expects to be a bit below last year based on current figures. The two orange lines on the graph represent the potential low and high values for the forecast. The Department expects to be within that range, but behind last year. Governor Little asked if that is based on the new timber policy [Forest Asset Management Plan] that the Board adopted. There will not be yield off that increase this fiscal year, but there will be increase in outgoing years. Mr. Haagenon replied that is correct; it is a four-year ramp-up to the new volume level. The volume will start to increase beginning with fiscal year 2021. Governor Little noted that if the Department meets the minimum level it will be \$7 million short, but if it meets maximum level that could be as much as \$10 million more. Governor Little observed the fiscal year is half over and the Department should have a good idea which it will be. Mr. Haagenon indicated the Department will likely be closer to the low end of the range than to the high

end. Governor Little inquired if the Department is embedding that \$7 million shortage expectation in projections and return numbers, in conjunction with EFIB and budget staff. Mr. Haagenson replied that the Department does communicate the low end and high end of the forecast with EFIB; typically, EFIB bases assumption on the low end of the forecast.

B. Leases and Permits – January 2020

**Discussion:** None.

**Status Updates**

C. Legislative Summary

**Discussion:** Controller Woolf asked about direct sales; is that included in a rulemaking or legislation? Director Miller replied that direct sales, or delivered product sales, is currently a pilot program. Funding is being requested in the Department's budget for the next fiscal year, \$500,000, for a pilot program to determine whether offering the delivered product sales is going to be an additional revenue generator for the Department. In other states, Montana in particular, between 10-20% additional revenue has been generated through a delivered product sales program. This is just a pilot program; if that half million-dollar portion of the budget is approved for next fiscal year, the Department will evaluate moving forward.

Governor Little referred to the constitutional amendment and inquired if the Department has any leases that are triple net. How will that impact the Land Board's constitutional obligation on a high valued piece of property, for example, if a lessee did not anticipate paying taxes and suddenly, the lessee starts paying 1 or 2% property taxes on it. Does the Department's real estate division have a fiscal note impact as that constitutional amendment makes its way through the process? Director Miller responded that the Department has not discussed the proposed amendment in detail. If this constitutional amendment moves forward, Department staff will work with the Attorney General's office in addressing that issue. Governor Little suggested that the Department be prepared.

D. Resource Protection and Assistance Bureau Update

**Discussion:** Governor Little asked if the revenue number [page 2, last paragraph] is a 40% variation from normal. Mr. Thomas said yes. The Department is working with the Attorney General's office to update language in the lease templates and get submerged land leases back into effect.

Controller Woolf mentioned that many constituents that live on the Spokane River contact him about the buoys and wakes on the river. Is the Department continuing to work with the Kootenai County Sheriff's office and residents regarding the buoys on the river? Mr. Thomas said the buoy activity is much improved from 18-24 months ago. The Department found only four unpermitted buoys during an inspection in 2019. Two years ago, a significant number of buoys were discovered. That comes down to enforcement, working with Kootenai County authorities to ensure everyone knows the rules about where buoys may be placed. The Department enforces the law as it is written; there has been much better compliance with the whole population on the river.

Governor Little inquired about delinquencies on the bond assurance fund; there were payments due on November 1, 2019. Mr. Eric Wilson responded that the billing was sent last fall, with a November 1 due date. Mr. Wilson offered to provide information about delinquencies following the meeting.

## **2. Endowment Fund Investment Board Report – Presented by Chris Anton, EFIB Manager of Investments**

- A. Manager's Report; and
- B. Investment Report

**Discussion:** Mr. Anton recalled that prior to the last Land Board meeting, the portfolio was up about 9.9%. In late January, however, the market sold out sharply as the world learned of the coronavirus and became concerned that China would be closed off to world trade and affect the global economy. At the end of the month, the fund was down 0.2% for the month of January and the portfolio was up 6.6% fiscal year-to-date. Uncertainty over the virus, which has now affected more than 71,000 people and resulted in over 1800 deaths, has disrupted world trade, affected supply chains, depressed asset prices, and forced multinational companies to make tough decisions about how to operate in China with little information. The U.S. and Europe have both blocked visitors from returning to the country and have oftentimes held them in quarantine. OPEC<sup>1</sup> has called a meeting to scale back production because of soft demand for oil. Fortunately, financial markets over the last week or two have concluded that this is temporary, that for the most part the impact to the market should be the next quarter or two. Through the close of markets yesterday, the fund was up 9.7%.

Mr. Anton indicated that earnings reserves were fully funded as of the end of December: 6.3 years for public schools and 6.9 years or more for all the other funds. The Investment Board met last Thursday and approved, as temporary, EFIB's fee rule for the credit enhancement program for public schools should the legislature elect to adjourn without approving the rules. The Investment Board reviewed the status progress of Callan's effort to review the State Insurance Fund (SIF) portfolio, and at its May meeting plans to update the investment policy and make changes to the SIF portfolio. The Investment Board also looked at the performance of the endowment fund for the last calendar year; the fund ranked in the top 5th percentile of all public funds in the last calendar year. EFIB had its budget setting meeting with JFAC and the budget was approved.

Governor Little remarked that the international fund manager is knocking the cover off the ball. Mr. Anton agreed that WCM is really good; it is not often a manager is 6% above benchmark. Governor Little added particularly in a volatile market.

## **Consent—Action Item(s)**

### **3. Approval of Minutes – January 21, 2020 Regular Meeting (Boise)**

**Consent Agenda Board Action:** A motion was made by Attorney General Wasden that the Board adopt and approve the Consent Agenda. Controller Woolf seconded the motion. The motion carried on a vote of 5-0.

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<sup>1</sup> Organization of the Petroleum Exporting Countries

## Regular—Action Item(s)

### 4. Omnibus Rulemaking – Adoption of Temporary Rules – Presented by Dustin Miller, Director

**Recommendation:** Adopt as conditional temporary rules all of the Department's temporary and pending rules, as set forth in Attachment 2. The rules will become effective only if the temporary and pending rules are not otherwise approved or rejected by the 2020 Idaho Legislature and/or not extended pursuant to the Idaho Administrative Procedure Act.

**Discussion:** None.

**Board Action:** A motion was made by Attorney General Wasden to adopt the rules identified in Attachment 2 of the Department's memo as temporary rules to be effective *sine die* of the 2020 session of the Idaho Legislature. This approval and adoption is conditional and will only become effective if the rules previously adopted by this Board as final rules and currently pending before the Idaho Legislature are not otherwise effective upon *sine die* pursuant to Idaho Code § 67-5291 and § 67-5292. Controller Woolf seconded the motion. The motion carried on a vote of 5-0.

At 9:30 a.m. a motion was made by Attorney General Wasden to resolve into Executive Session pursuant to Idaho Code § 74-206(1)(f) to communicate with legal counsel for the Land Board to discuss the legal ramifications of and legal options for pending litigation, or controversies not yet being litigated but imminently likely to be litigated. Attorney General Wasden requested that a roll call vote be taken and that the Secretary record the vote in the minutes of the meeting. Controller Woolf seconded the motion. *Roll Call Vote:* Aye: Denney, Wasden, Woolf, Ybarra, Little; Nay: None; Absent: None.

### Executive Session

- A. Idaho Code § 74-206(1)(f) – to communicate with legal counsel for the public agency to discuss the legal ramifications of and legal options for pending litigation, or controversies not yet being litigated but imminently likely to be litigated. [TOPIC: GNA Timber Sale]
- B. Idaho Code § 74-206(1)(f) – to communicate with legal counsel for the public agency to discuss the legal ramifications of and legal options for pending litigation, or controversies not yet being litigated but imminently likely to be litigated. [TOPIC: Recommended Order]

At 10:06 a.m., a motion was made by Attorney General Wasden that the Board resolve out of Executive Session. Attorney General Wasden requested that the official minutes of the meeting reflect that no action was taken by the Board during the Executive Session. Attorney General Wasden asked for an opportunity to make a statement for the record after his motion was considered. Controller Woolf seconded the motion. The motion carried on a vote of 5-0.

For the record, Attorney General Wasden stated that during the Executive Session, the Board had a discussion on the Hanna Flats GNA<sup>2</sup> litigation. The Department advised the Board that it is planning on participating in that litigation by filing an amicus brief. Attorney General noted that a decision was not required of the Board, and the Board took no action during Executive Session.

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<sup>2</sup> Good Neighbor Authority

## **Regular—Action Item(s)**

5. **Review Recommended Decision and Order – Sharlie-Grouse Neighborhood Association v. State Board of Land Commissioners** – *Presented by Becky Ophus, Section Chief-Fair Hearings Unit, Office of the Attorney General*

**Discussion:** None.

**Board Action:** A motion was made by Attorney General Wasden that the Land Board issue a final order, without modification, that was recommended by the hearing officer, former Justice Jim Jones. Controller Woolf seconded the motion. The motion carried on a vote of 5-0.

## **Information**

None

There being no further business before the Board, at 10:07 a.m. a motion to adjourn was made by Attorney General Wasden. Controller Woolf seconded the motion. The motion carried on a vote of 5-0.

IDAHO DEPARTMENT OF LANDS

## STATE BOARD OF LAND COMMISSIONERS

April 21, 2020  
Consent Agenda

### Subject

Proposed relocation of the City of McCall's Parks and Recreation Department maintenance facility to the City of McCall's Central Idaho Historical Museum property.

### Question Presented

Shall the Board approve the proposed relocation of McCall's Parks Department maintenance facility?

### Background

The State of Idaho's Southern Idaho Timber Protective Association property (SITPA property) in Valley County was deeded to the City of McCall (City) on March 30, 1995, pursuant to Deed No. 13003 (Attachment 1). The SITPA property currently houses the Central Idaho Interpretive Museum and Visitors Center (CIIMC). The SITPA property is directly adjacent to and east of St. Luke's McCall Hospital. The deed transferring ownership of the SITPA property to the City provides that:

This conveyance is upon the express condition that the land and improvements shall be used for public education purposes including but not limited to the Central Idaho Interpretive Museum and Visitors Center and that the property shall be used so as to maintain the buildings and include activities on the site consistent with properties listed in the national register of historic places. In the event it is used for any other purposes, the title to this land and improvements shall revert to the State of Idaho together with all the tenements, hereditaments and appurtenances thereunto belonging.

### Discussion

The City has recently performed an assessment of viable properties to relocate an updated Parks and Recreation Department (Parks Department) maintenance operation that is compliant with the Americans with Disabilities Act. The McCall City Council determined that the SITPA property is the most viable location for a new facility that would meet the Parks Department's needs. In addition to the maintenance operations provided by the Parks Department, the City is proposing to add a park on the SITPA property with an interpretive center that the City believes is consistent with the deed restriction for public educational purposes (Attachment 2). The City believes these additional improvements and amenities have been designed for compatibility with the surrounding museum facilities on the SITPA property and will increase the site's use for public education (Attachment 3).



The City and Parks Department, in conjunction with the CIIMC Board, plan to implement the following educational programs and site amenities in addition to the museum's general operations.

- Summer Forum & Lecture Series: Subscriptions to a summer lecture series on the history of the McCall area would be sold with proceeds going to the museum's general fund. The series will be modeled on the Sawtooth Forum and Lecture Series in Stanley, Idaho.
- McCall Historic Tour App: The application will highlight 12 local properties including the museum site. Development is underway for a walking tour of the museum on mobile devices.
- Improved Site Connectivity and Interpretive Signage: In addition to the Parks Department maintenance facility, the City and the Parks Department plan to improve the SITPA property with a park area and interpretive signage. The interpretive signage will complement the walking tour associated with the Historic Tour App described above.
- Community Programming: The Parks Department is currently developing a youth fire and forestry camp in partnership with the Payette National Forest and the Southern Idaho Timber Protective Association. The goal of the program would be to add opportunities to educate young people on forest health, resources, and fire management, with interactive training on site to demonstrate what it takes to manage the health and resources of forest land.
- Vocational Education Opportunities: In an effort to meet the needs of the community for trade skill development, the Parks Department is currently working with local high schools on ideas to expand vocational education for both high school students and community members. The goal is to use the proposed Parks Department facilities to provide additional space for after-hours vocational training. In addition, the Parks Department intends to add local recourses such as private business owners and the University of Idaho to increase educational opportunities.

The City's and the Parks Department's expanded educational programming for visitors will enhance and support the existing museum educational programming.

The proposed project is supported by the State Historic Preservation Office, the Central Idaho Historic Museum Board, and the McCall Historic Preservation Committee (Attachment 4). With the support of these entities, the City of McCall believes the proposed project is compliant with the deed restriction, and requests approval.



## **Recommendation**

Approve the City of McCall's proposed park and interpretive center, and relocation of the Parks Department's maintenance facility, on City-owned Central Idaho Interpretive Museum property.

## **Board Action**

## **Attachments**

1. State of Idaho Deed 13003
2. City of McCall memo/request to IDL dated March 25, 2020
3. Site Plan and Drawings
4. Letters of Support: State Historic Preservation Office, Central Idaho Historic Museum, McCall Historic Preservation Committee

A large, faint watermark of the Idaho Department of Lands logo is centered on the page. The logo features a stylized mountain range and a sunburst design, with the text "IDAHO DEPARTMENT OF LANDS" overlaid in a bold, sans-serif font.

**IDAHO DEPARTMENT OF LANDS**

**STATE OF IDAHO DEED**

**DEED NO. 13003  
(SITPA PROPERTY)**

**THIS INDENTURE made this 30th day of March, 1995, between State of Idaho, Southern Idaho Timber Protective Association, 1001 State Street (P.O. Box 1003), McCall, Idaho 83638, by and through the State Board of Land Commissioners, the party of the first part (Grantor); and CITY OF McCALL, P.O. Box 1065, McCall, Idaho 83638, the party of the second part (Grantee);**

**WITNESSETH, that the Grantor, for adequate and valuable consideration does grant, bargain, sell, convey, and confirm unto the Grantee, its heirs and assigns, forever, all the following described property located in Valley County, State of Idaho, to-wit:**

**A tract of land located within Government Lot 6 of Section 8, Township 18 North, Range 3 East, B.M., more particularly described as follows:**

**Commencing at the southeast corner of said Government Lot 6, said corner marked by an iron pin; thence South 89° 53'00" West, 660.00 feet along the south line of said Government Lot 6 to a point, said point being the REAL POINT OF BEGINNING; thence North 0° 03'00" West, 589.00 feet to the centerline of State Highway 55; thence North 80° 41'00" West, 303.10 feet along said centerline; thence South 0° 03'00" East, 638.70 feet to a point on the south boundary of said Government Lot 6; thence North 89° 53'00" East, 300.00 feet along said south boundary of said Government Lot 6 returning to the real point of beginning, the above described area containing 4.23 acres, more or less.**

**TO HAVE AND TO HOLD the said premises and parcel of land above particularly described, with the appurtenances thereon, unto the said CITY OF McCALL, their heirs and assigns, in fee simple forever, subject to the provisions of Section 58-604, Idaho Code, as amended by Chapter 44, 1951 Sessions Laws; which grants over all lands belonging to the State a right of way for ditches and canals constructed by authority of the United States.**

**State of Idaho**  
**Deed No. 13003**  
**Page 2 of 3**

**The State reserves the right to all coal, oil, oil shale, gas, phosphate, sodium, asbestos, gold, silver, lead, zinc, copper, antimony and all other minerals or deposits of minerals of whatsoever kind or character, including sand, gravel and pumice pursuant to Sec. 47-701, Idaho Code; also reserved to the State are geothermal resources, including associated by-products.**

**This parcel is subject to all easements and rights-of-way existing or of record.**

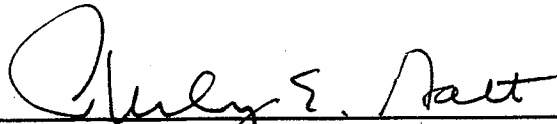
**This property is registered on the National Register of Historic Places established under the National Historic Preservation Act, 16 USCA 470, et seq.**

**This conveyance is upon the express condition that the land and improvements shall be used for public education purposes including but not limited to the Central Idaho Interpretive Museum and Visitors Center and that the property shall also be used so as to maintain the buildings and include activities on the site consistent with properties listed in the national register of historic places. In the event it is used for any other purposes, the title to this land and improvements shall revert to the State of Idaho together with all the tenements, hereditaments and appurtenances thereunto belonging.**

**This property conveyance was approved by the State Board of Land Commissioners on July 7, 1992.**

State of Idaho  
Deed No. 13003  
Page 3 of 3

IN WITNESS WHEREOF, I, PHILIP E. BATT, the Governor of the State of Idaho, have hereunto signed my name and caused the Great Seal of the State of Idaho and the Seal of the State Board of Land Commissioners to be hereunto affixed, this 30th day of March, 1995.



Governor of Idaho and President of the  
State Board of Land Commissioners

COUNTERSIGNED:



Secretary of State



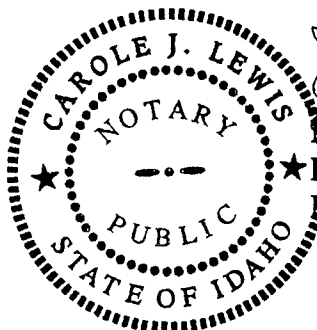
  
Director, Department of Lands

STATE OF IDAHO )

( ss.

County of Ada )

On this 30th day of March, in the year 1995, before me, a Notary Public in and for said State, personally appeared PHILIP E. BATT, known to me to be the Governor of the State of Idaho and PETE T. CENARRUSA, known to me to be the Secretary of State of the State of Idaho, and STANLEY F. HAMILTON, known to me to be the Director of the Department of Lands of the State of Idaho, who executed said instrument and acknowledged to me that such State of Idaho executed the same.





Notary Public

Residing at Boise, Idaho

My Bond expires: 3-26-96

ACCEPTANCE OF DEED

This is to certify that on April 13<sup>th</sup>, 1995, the City of McCall by action of its Mayor and Council accepted the foregoing deed.

Dated: 4-24-95

Dean A. Martens  
Dean Martens,  
Mayor

Attest: James H. Henderson  
James H. Henderson,  
City Clerk



IDAHO DEPARTMENT OF LAND

REQUESTED BY City of McCall  
RECORDED

'95 MAY 15 AM 11 38

TYPE: Deed H10  
LELAND HEINRICH  
VALLEY COUNTY RECORDER  
BY: James H. Henderson  
FEE: 12.00

210954

# Memo



To: Idaho Department of Lands - State Land Board Staff  
From: Kurt Wolf, Parks and Recreation Director – City of McCall  
CC: Joshua Purkiss, Ryan Montoya  
Date: 03/25/2020  
Re: McCall Southern Idaho Timber Protective Association (SITPA) Site Project – City Parks Operations & Shop Facility Re-Location Project Approval Request

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**Site Introduction and Deed Restriction:** The State of Idaho’s Southern Idaho Timber Protective Association Site (SITPA) in Valley County was deeded to the City of McCall on March 30, 1995. Conveyed in the deed and administered by the State Board of Land Commissioners, is “the conveyance upon the express condition that the land and improvements shall be used for public education purposes including but not limited to the Central Idaho Interpretive Museum and Visitors Center and that the property shall also be used so as to maintain the buildings and include activities on the site consistent with properties listed in the national register of historic places.” (Deed attached)

The City of McCall leases the site and buildings to the Central Idaho Interpretive Museum. (see attached Lease). The Museum’s operation of the site has met the deed requirement to provide for public education. The City assists the Museum in its efforts to maintain the site’s historic character. The Parks Department and City Arborist also maintain the grounds and trees on site while often assisting with building and infrastructure maintenance, even though building maintenance is primarily the responsibility of the Museum as outlined in their lease with the City.

**Project Summary (Parks Maintenance Operations Re-Location):** The City of McCall recently performed a thorough assessment of viable locations throughout the community to relocate the Parks Department maintenance operations. The building that currently houses the Parks maintenance operations is not ADA compliant and does not have enough storage capacity for equipment and materials. In 2018 the McCall City Council determined that the Southern Idaho SITPA site was the most viable option to meet the current and projected needs of the department at the least cost and most benefit to the community. It was also determined that housing the Parks operations at this site would be complementary to the nature and functionality of the site, would breathe life into the Museum facility, and ensure the deed requirements on the property are fully met.

The proposed project design concepts for the new Parks maintenance facility at the site have been well vetted before the Central Idaho Historic Museum Board, the State Historic Preservation Office (SHPO), and the McCall Historic Preservation Committee. Letters of support along with meeting minutes have been attached to document that process. Design concepts and drawings have been included to demonstrate how the project would work and operate on the site in conjunction with museum operations and public use.

Currently the City Parks operations are based in the old fire station located at 300 E. Park street in downtown McCall. New development and growth of the community's infrastructure and public amenities over the past fifteen years has resulted in a significant increase in the Parks department's staff and equipment. The department is quickly outgrowing the current facility and housing a maintenance operation in the heart of McCall's retail downtown is not a good fit.

Once the Parks maintenance operations are relocated, the old fire station will be demolished. The City intends to repurpose the old fire station site for the expanded footprint of the adjacent public library.

**Educational Opportunities Associated with the Proposed Project:** The City of McCall in conjunction with the Museum Board plan to implement the following educational programs and site amenities in addition to the Museums general operations.

- Summer Forum & Lecture Series: Subscriptions to a summer lecture series on the history of the McCall area would be sold with proceeds going to the museums general fund. Modeled off the Sawtooth Forum and Lecture Series in Stanley Idaho. – **Museum Operated**
- McCall Historic Tour App: Which highlights 12 local properties including the Museum site. Development is under way for a walking tour of the museum on mobile devices. [https://play.google.com/store/apps/details?id=com.esri.McCallHistory&hl=en\\_US](https://play.google.com/store/apps/details?id=com.esri.McCallHistory&hl=en_US)  
**Museum Operated – Partnered with the City of McCall**
- Improved Site Connectivity and Interpretive Signage: As a condition of the Planning and Zoning Approval Process, the City has budgeted for and plans to make public site improvements to the area West of the proposed shop. This will result in improved connectivity to the rest of the SITPA site while increasing interpretive signage throughout the site. Interpretive signage will also compliment the walking tour associated with the Historic Tour App as described above. **City of McCall**
- Community Programing: The City Recreation Department is currently developing a youth fire and forestry camp in partnership with the Payette National Forest and the Southern Idaho Timber Protective Association. The goal of the program would be to educate kids on forest health, recourse, and fire management with interactive training on site to demonstrate what it takes to manage the forest. **City Operated**
- Vocational Education Opportunities: In an effort to meet the needs of the community for trade skill development the Parks & Recreation Department are currently working with the local high schools on ideas to expand vocational education for both high school students and community members. It is our goal to utilize the proposed shop on this site to provide additional space for afterhours vocational training. It is the departments goal to utilize local recourses such as private business owners, the University of Idaho



Extension Office, City Parks Recourses, and School District recourses to provide these opportunities for the community. **City Operated**

**Maintenance Obligation & Opportunities:** With an increased presence on site the McCall Parks department will be able to better assist the museum board with ongoing needed maintenance and more adequately justify city maintenance costs on the SITPA site. The City Parks Department is already undertaking the following maintenance projects based on current needs and in preparation of the proposed project.

- Replacing the roof on the Log Garage/Bunk House (Building #2 in plans) This building also functions as the primary location of operations for the museum. – **City of McCall (March/April 2020)**
- Repairs and refurbishing of the 10-Bay Garage/Shed (Building #6 in plans) This building has been shared by the museum board and the city for storage of museum exhibits and city equipment and materials. Work will include a new roof, interior sheer walls, and new siding (to match the existing). – **City of McCall (2020-2021)**

**Closing Comments:** The City of McCall Parks Department & City Council, the Central Idaho Historic Museum Board of Directors, and the McCall Historic Preservation Committee have worked hard to understand and address the impacts of this project to the historic SITPA site and deed restrictions. The outcome has always been positive, and each agency feels the project would breath life into the site and increase public awareness, educational opportunities, and use of the historic facilities. The project has the potential to significantly streamline maintenance operations on site and further justify shared maintenance expenses on site. The Parks & Recreation department have explored programing and educational opportunities for the community and visitors on site and are prepared to implement these programs. Conversations with the museum board and other non-profit agencies are underway to increase user visits and capitalize on educational and revenue generating opportunities.

**Request:** The City of McCall respectfully requests approval from the Idaho Department of Lands – State Lands Board to implement the above outlined project (Parks Maintenance Operations Relocation) which is described in the attached site plan, drawings, and renderings.

**Attachments:**

- Design Review Project Description
- Design Review Site Plan & Drawings
- Letters of Support: State Historic Preservation Office, Central Idaho Historic Museum, McCall Historic Preservation Committee
- Original State of Idaho Deed
- Central Idaho Interpretive Museum Lease

**For More Information or Questions:**

Kurt Wolf, City of McCall, Parks & Recreation Director [kwolf@mccall.id.us](mailto:kwolf@mccall.id.us) 208-634-8967

Anette Spickard, City of McCall, City Manager [aspickard@mccall.id.us](mailto:aspickard@mccall.id.us) 208-634-1003

ZONE DISTRICT (CV)		
GENERAL ZONE LOT INFORMATION	SQ FT	ACRES
ZONE LOT SIZE (GROSS PROJECT AREA)	184,259 SF ±	4.2 AC ±
PRIMARY STREET	W. FOREST ST.	
SIDE STREET	N. STATE ST.	
PROPOSED USE	MIXED USE; OFFICE, SHOP	
GROSS FLOOR AREA	3,074 SF±	0.09 AC±
LOT COVERAGE (PROPOSED BUILDING)	1.6%	
DESIGN ELEMENTS	REQ'D/ALLOWED	PROVIDED
BUILDING HEIGHT: FEET (min/max)	50 FT	27 FT
PARKING	REQ'D/ALLOWED	PROVIDED
OFFICE/BUSINESS: 1 / 500SF	3,074 SF / 500 = 6	6 * ADDITIONAL PARKING AVAILABLE ON SITE
STANDARD ACCESSIBLE COMPACT SPACES	5 1 UP TO 35%	5 1 NA
TOTAL	6	6
BICYCLE (ENCLOSED/FIXED) 2 PER PROJECT OR 1 PER 10,000SF FLOOR AREA	2	2
LOADING SPACES (REQUIRED IN PROJECTS OVER 14,000SF)	NA	NA

**LEGAL DESCRIPTION**  
SITUATE IN A PORTION OF GOV'T LOT 6, SECTION 8 TOWNSHIP 18 NORTH, RANGE 3 EAST, BOISE MERIDIAN CITY OF MCCALL, VALLEY COUNTY, IDAHO 2019

**BASIS OF BEARING**  
FROM SE PROPERTY CORNER S89°46'23" E 300.06', S00°22'10"W 638.70', N80°21'53" 304.03', N00°22'10"E 589.00'

**BENCHMARK**  
CITY OF MCCALL CONTROL NETWORK (MGG) POINT "MSD1"  
S31°19'22"W 4823.62'

SHEET INDEX	
No.	Sheet Name
1	COVER SHEET
2	SURVEY
3	SITPA ARCH. SITE PLAN
4	ARCH. SITE PLAN
5	ARCH. MASTER PLAN
6	UTILITY & CIVIL SITE PLAN
7	GRADING AND DRAINAGE
8	GRADING AND DRAINAGE
9	ARCH. BLDG. PLANS
10	ARCH. BLDG. ELEVATIONS
11	SITE RENDERING
12	SITE PHOTOS



VICINITY MAP N.T.S.

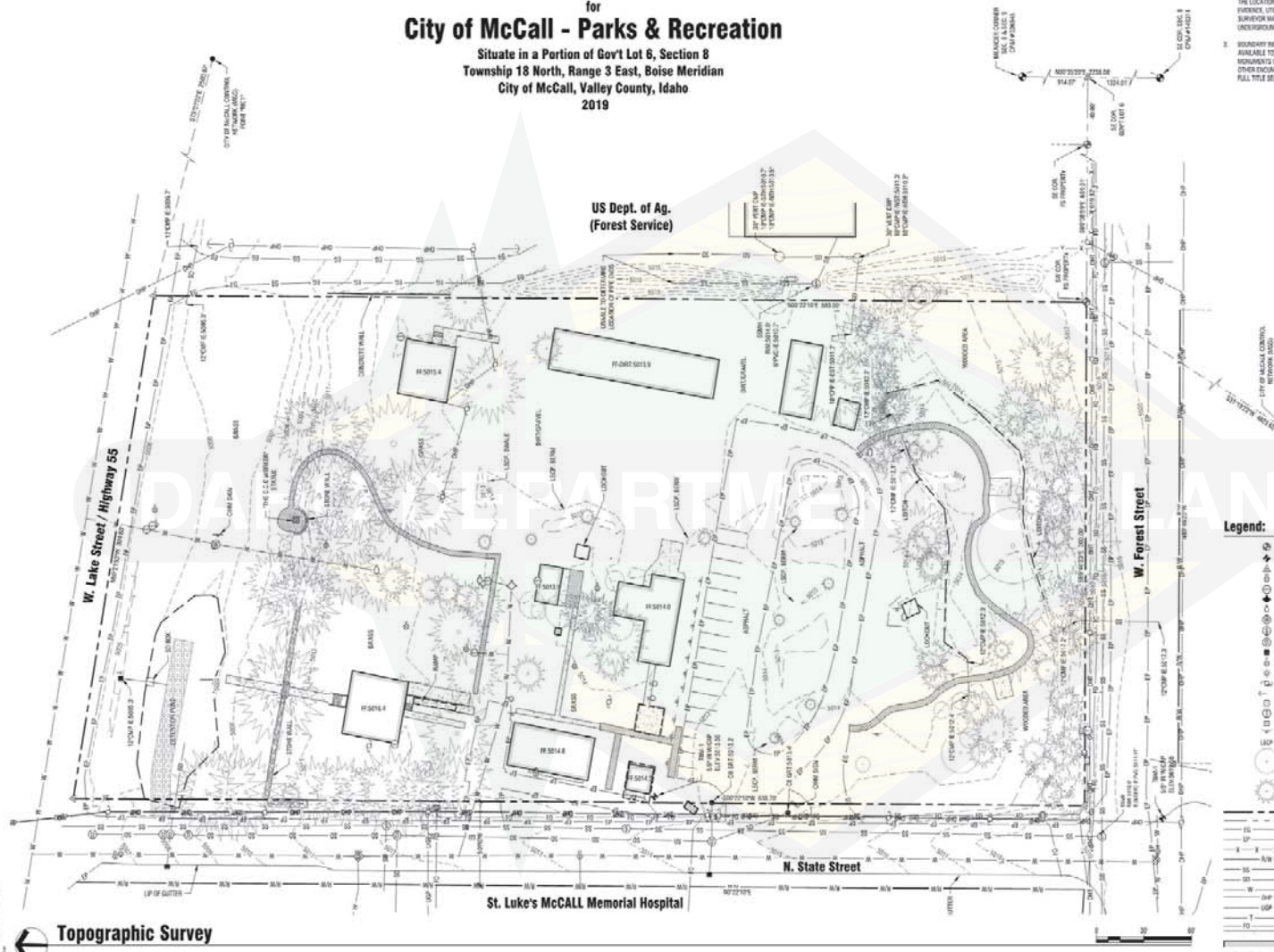


**Topographic Survey**  
for  
**City of McCall - Parks & Recreation**  
Situate in a Portion of Gov't Lot 6, Section 8  
Township 18 North, Range 3 East, Boise Meridian  
City of McCall, Valley County, Idaho  
2019



**Keynotes:**

1. UNDERGROUND UTILITIES ARE SHOWN AS AN APPROXIMATE WAY ONLY. THE LOCATIONS SHOWN HEREON ARE BASED UPON ABOVE GROUND EVIDENCE, UTILITY COMPANY FACILITY MAPS AND AS-BUILT DATA. THE SURVEYOR MAKES NO GUARANTEE OF THE ACCURACY OF LOCATION OF UNDERGROUND UTILITIES.
2. BOUNDARY INFORMATION SHOWN HEREON IS BASED ON RECORDS AVAILABLE TO THE SURVEYOR AT THE TIME OF SURVEY AND FOUND MONUMENTS ON THE GROUND. ENCUMBRANCES AND OTHER ENCUMBRANCES WHICH MAY BE APPARENT BY CONDUCTING A FULL TITLE SEARCH ARE NOT NECESSARILY REFLECTED ON THIS SURVEY.



**Legend:**

- FOUND ALUMINUM CAP MONUMENT
- TEMPORARY BENCHMARK
- CALCULATED POINT, NOTHING FOUND ON SITE
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- WINDY TREE MONUMENT
- WATER MANHOLE
- SANITARY LEADER MANHOLE
- STORM DRAIN MANHOLE
- WINDING ALLEY
- PROPOSED IRRIGATION VALVE
- STREET LIGHT
- POWER POLE
- STREET
- TELEPHONE RISER
- TELEPHONE MANHOLE
- POWER OPTIC AND/OR CABLE
- SEWER
- LANDSCAPING
- DISCONTINUED TREE
- CONSPICUOUS TREE
- PARCEL BOUNDARY LINE
- SECTION LINE
- EDGE OF SHOULDER
- EDGE OF PAVEMENT
- PROJECT LINE
- RIGHT-OF-WAY LINE
- SANITARY LEADER LINE
- STORM DRAIN LINE
- WATER LINE
- UNDERGROUND POWER LINE
- UNDERGROUND TELEPHONE LINE
- POWER OPTIC LINE
- CONCRETE AREA
- EXISTING BUILDING
- EXISTING SHEDDING

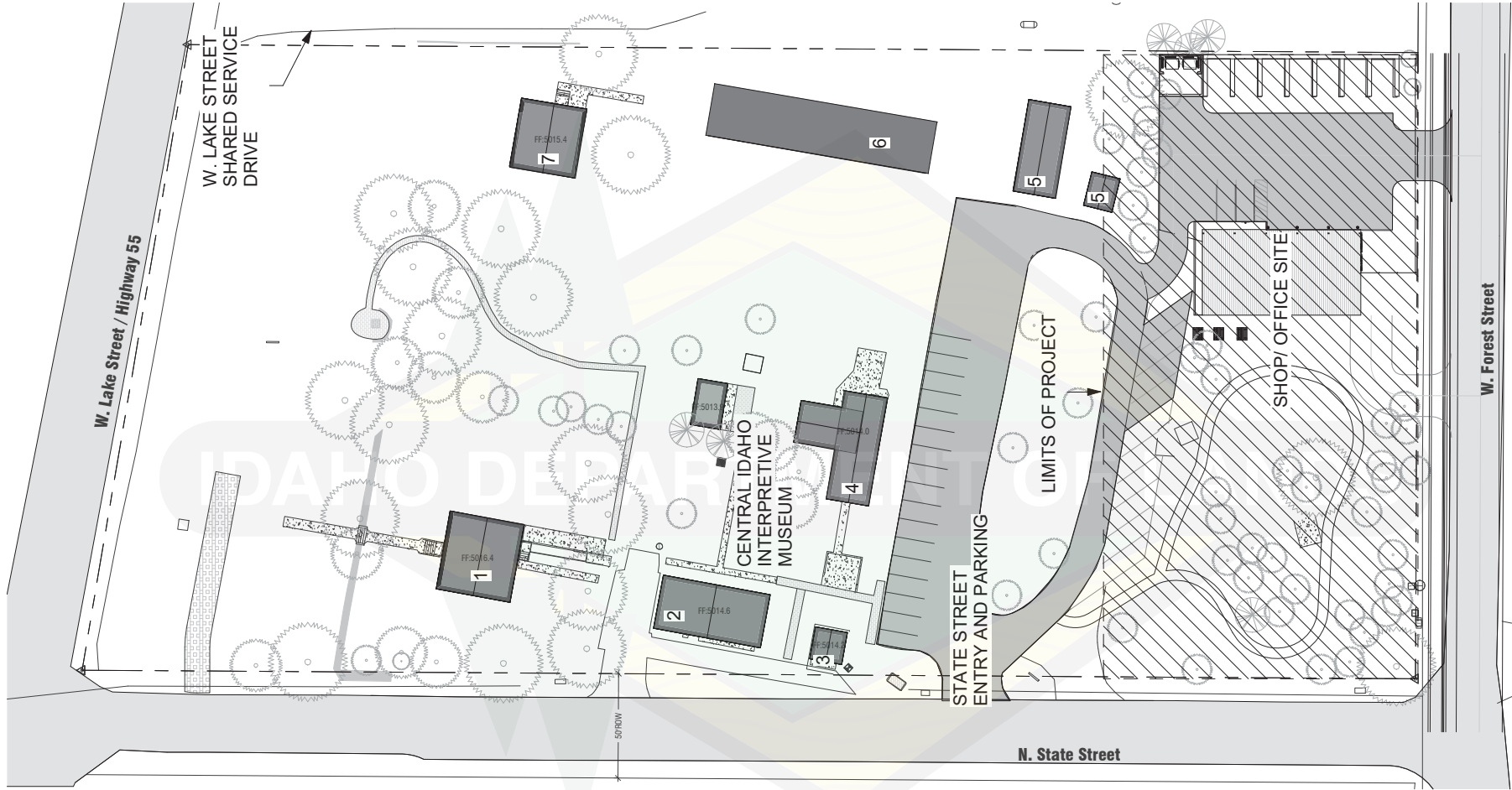
**Topographic Survey**  
**City of McCall - Parks & Recreation**  
218 East Park Street  
McCall, ID 83301

Revisions

No.	Description	Date

Project No. 19734  
Date of Revision: November 1, 2019  
Project Manager: [Signature]





#### BUILDINGS

1. THE RESIDENCE OR STATEHOUSE
2. THE LOG GARAGE
3. THE PUMPHOUSE
4. THE MACHINE SHOP
5. THE STORAGE SHEDS
6. THE GARAGE
7. THE HOUSE

MCCALL PARKS RELOCATION

## SITPA ARCH. SITE PLAN

3

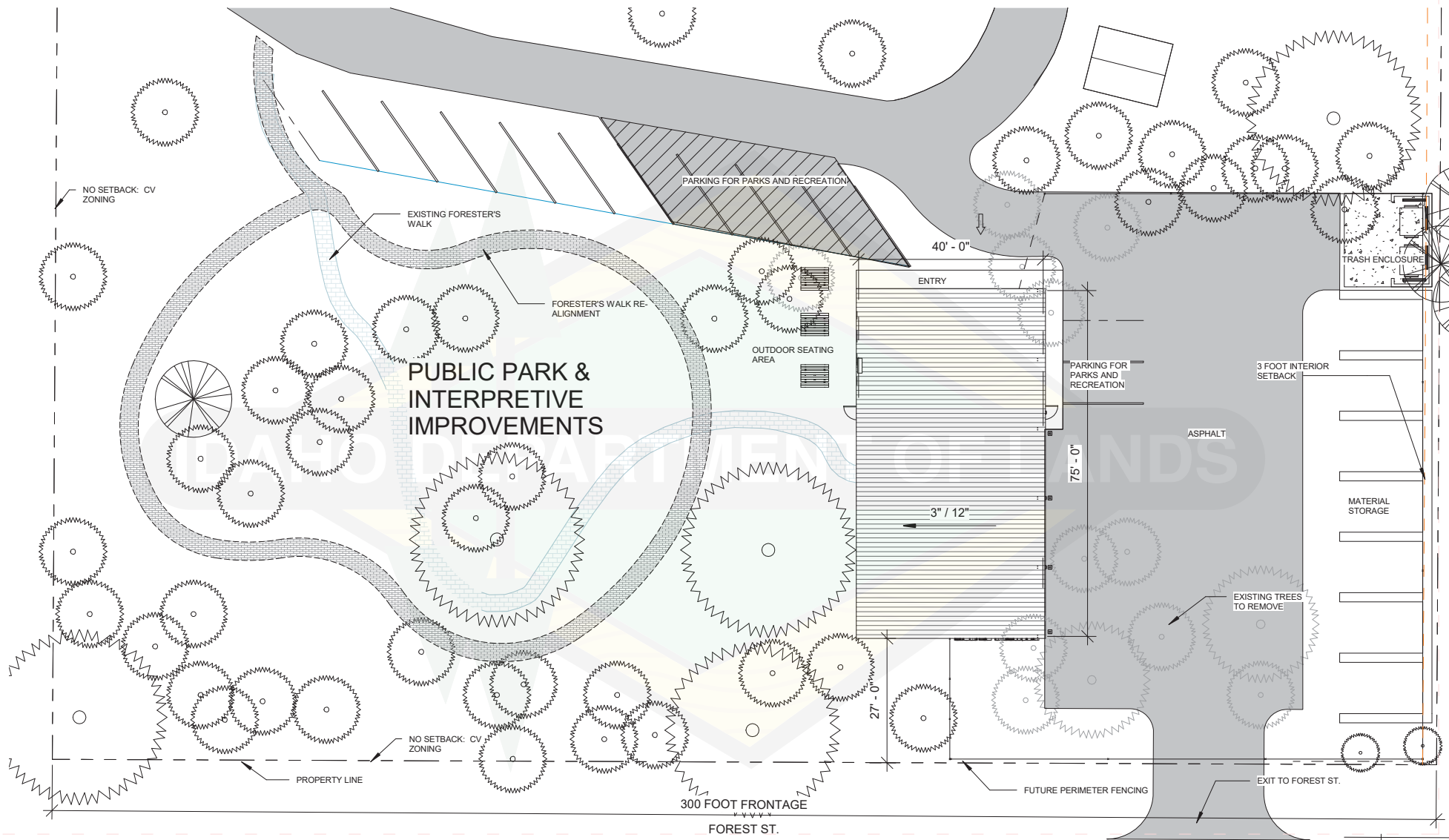
RATIO



SITPA Site  
1" = 50'-0"

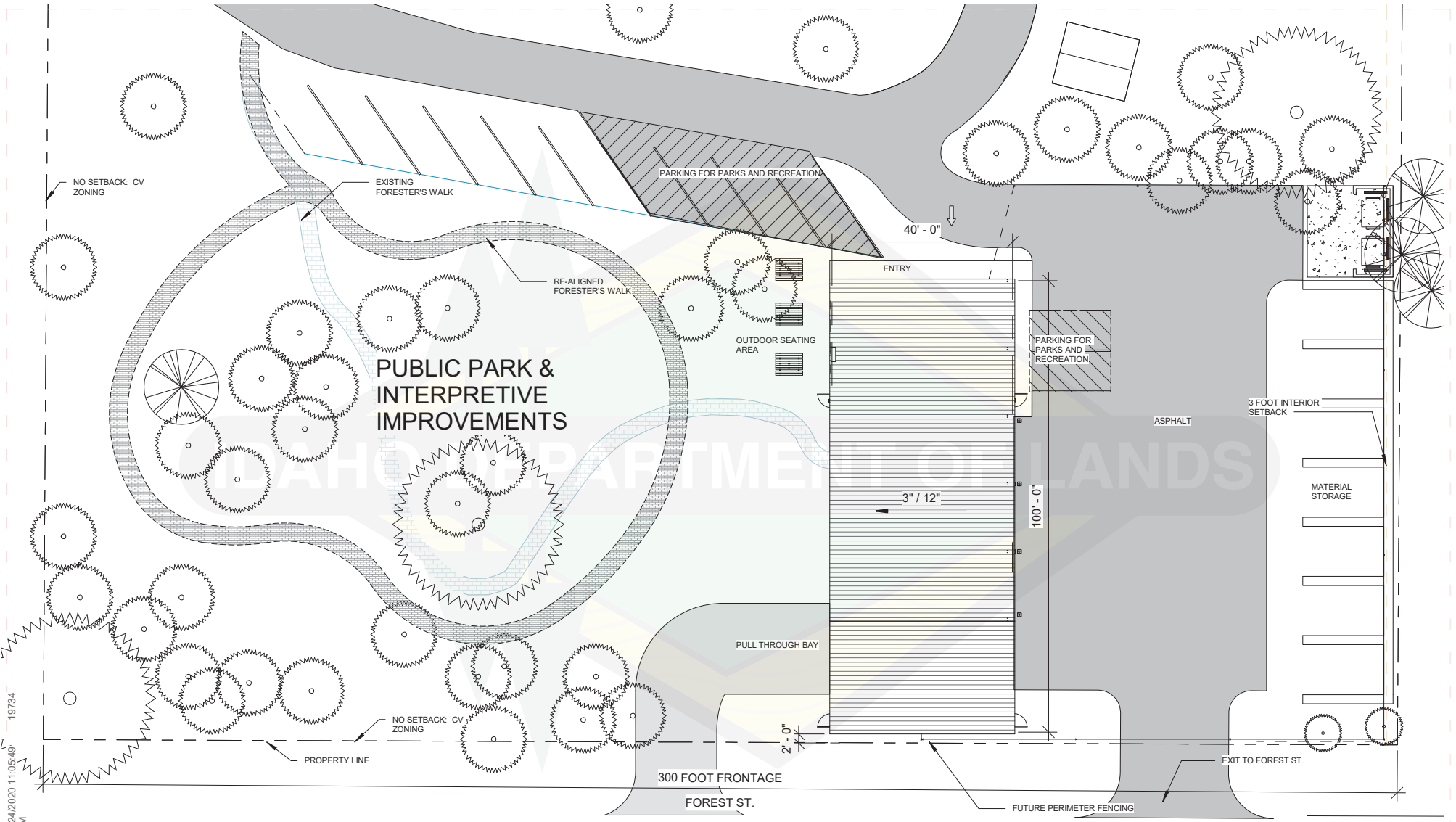


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Enlarged Site Plan  
1" = 20'-0"





Master Plan  
1" = 20'-0"



MCCALL PARKS RELOCATION

ARCH. MASTER PLAN 5



RATIO

# NOTES:

1. THE PROPOSED PROJECT IS LOCATED WITHIN THE McCALL PARKS DEPARTMENT PROPERTY BOUNDARY. THE SIZE OF THE PROPERTY BOUNDARY IS MUCH LARGER THAN SHOWN (ENTIRE PROPERTY BOUNDARY IS 22.7 ACRES). FOR THE PURPOSES OF THIS PROJECT A DEVELOPMENT AREA OF 1.19 ACRES WAS USED.
2. ALL PAVED SURFACES LOCATED WITHIN THE PROPERTY BOUNDARY SHALL BE OWNED AND MAINTAINED BY THE McCALL PARKS DEPARTMENT.
3. PROPOSED WATER SERVICE IMPROVEMENTS SHALL BE CONNECTED TO THE CITY OF McCALL SYSTEMS. PROPOSED SEWER SERVICE IMPROVEMENTS WILL BE CONNECTED TO PAYETTE LAKE RECREATIONAL WATER AND SEWER DISTRICT (PLRWSD) SYSTEM. ALL WORK SHALL CONFORM TO THE MOST CURRENT EDITION OF THE IDAHO STANDARDS FOR PUBLIC WORK CONSTRUCTION (SPWC), THE REQUIREMENTS OF THE CITY OF McCALL, AND PLRWSD.
4. WATER AND SEWER SERVICE LAYOUTS ARE CONCEPTUAL. FINAL CONSTRUCTION DRAWINGS SHOWING DETAILED DESIGN WILL BE SUBMITTED FOR REVIEW AND APPROVAL TO THE CITY OF McCALL AND PLRWSD PRIOR TO ANY CONSTRUCTION.
5. ALL PROPOSED UTILITIES (ELECTRIC, CABLE TELEVISION, AND TELEPHONE) ARE TO BE INSTALLED UNDERGROUND AND LOCATED WITHIN PUBLIC RIGHT-OF-WAYS, WHERE APPROPRIATE EASEMENTS WILL BE PROVIDED FOR ANY UTILITIES INSTALLED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY.
6. LOCATED AND VERIFY EXISTING SEWER SERVICE. CONNECT TO EXISTING SEWER SERVICE IF POSSIBLE.
7. REFER TO SHEETS 7 AND 8 FOR PRELIMINARY SITE GRADING, DRAINAGE, AND STORMWATER MANAGEMENT.

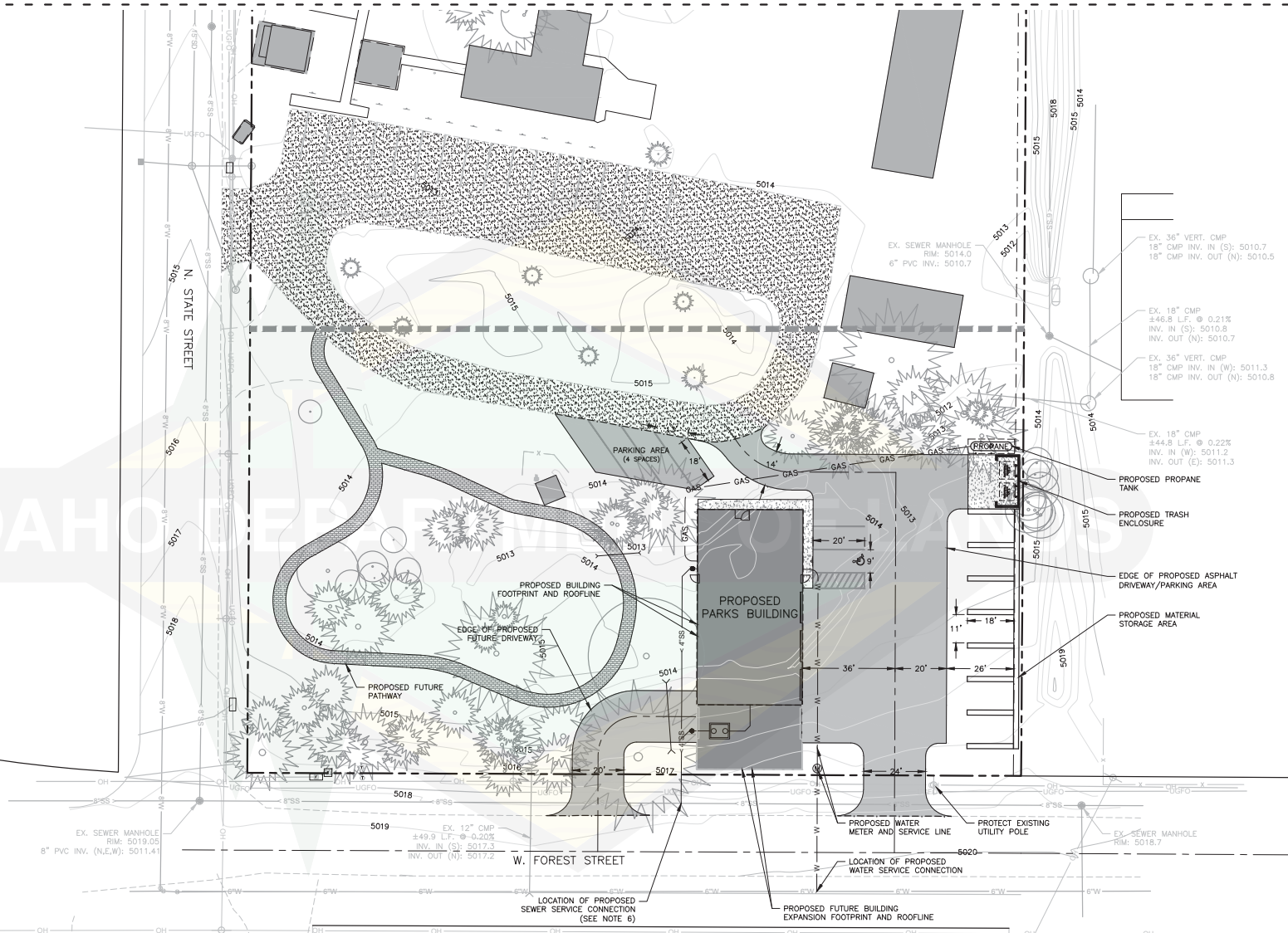
## LEGEND:

- PROPERTY LINE
- - - RIGHT-OF-WAY LINE
- 5015 DEVELOPMENT AREA
- EXISTING CONTOUR
- ROAD CENTER LINE
- EDGE OF EXISTING PAVEMENT
- EDGE OF PROPOSED PAVEMENT
- SIDEWALK, CURB & GUTTER AND CATCH BASIN
- OH EXISTING OVERHEAD POWER AND POLE
- UGFO EXISTING UNDERGROUND FIBER OPTIC
- PROPOSED CULVERT
- 8"W EXISTING WATER MAIN, SIZE AND GATEVALVE
- W PROPOSED WATER METER AND SERVICE LINE
- 8"SS EXISTING SANITARY SEWER, SIZE AND MANHOLE
- PROPOSED SANITARY SEWER SERVICE LINE AND CLEANOUT
- PROPOSED CONCRETE AREA
- PROPOSED ASPHALT AREA
- PROPOSED ROOF AREA



NORTH

0 10 20 40 60  
SCALE: 1" = 20'



**CRESTLINE**  
ENGINEERS  
323 DEINHARD LANE, SUITE C · PO BOX 2330  
McCALL, IDAHO 83638  
208.634.4140 · 208.634.4146 FAX

McCALL PARKS RELOCATION

PRELIMINARY UTILITY  
AND CIVIL SITE PLAN

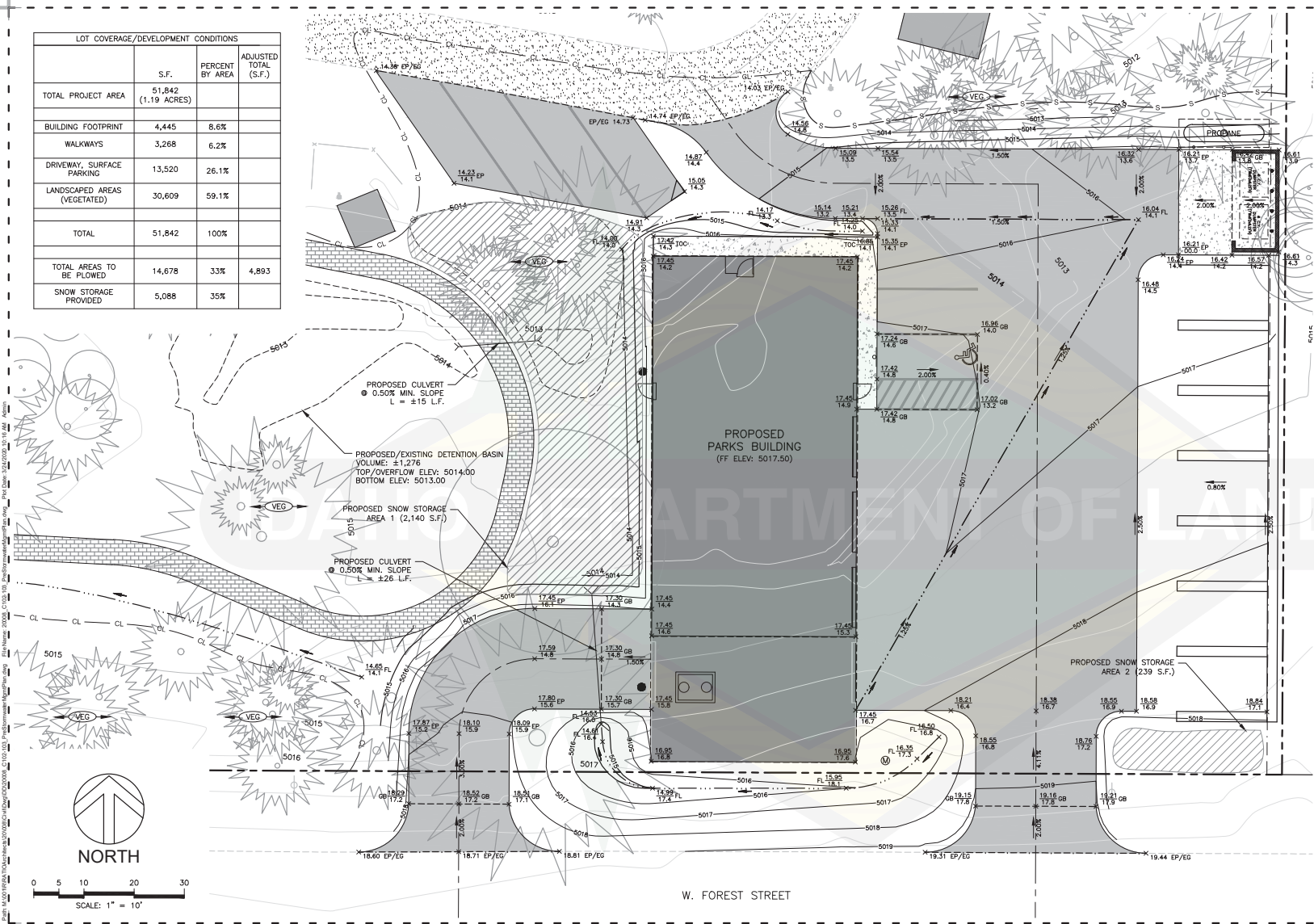
6



RATIO



LOT COVERAGE/DEVELOPMENT CONDITIONS			
	S.F.	PERCENT BY AREA	ADJUSTED TOTAL (S.F.)
TOTAL PROJECT AREA	51,842 (1.19 ACRES)		
BUILDING FOOTPRINT	4,445	8.6%	
WALKWAYS	3,268	6.2%	
DRIVEWAY, SURFACE PARKING	13,520	26.1%	
LANDSCAPED AREAS (VEGETATED)	30,609	59.1%	
TOTAL	51,842	100%	
TOTAL AREAS TO BE PLOWED	14,678	33%	4,893
SNOW STORAGE PROVIDED	5,088	35%	



- NOTES:**
- REFER TO SHEET 2 FOR ALL EXISTING SITE CONDITIONS.
  - STORMWATER TREATMENT TO BE COMPLETED ONSITE USING SURFACE DETENTION.
  - THE GRADING AND STORMWATER DRAINAGE AS SHOWN ON THIS DRAWING IS CONCEPTUAL. FINAL CONSTRUCTION DRAWINGS SHOWING DETAIL DESIGN WILL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE CITY OF McCALL PRIOR TO THE START OF ANY PROJECT CONSTRUCTION.
  - STORMWATER MANAGEMENT INCLUDING EROSION AND SEDIMENT CONTROL FOR THE PROJECT WILL BE IMPLEMENTED PER THE CITY OF McCALL DRAINAGE MANAGEMENT GUIDELINES (DMG'S).
  - REFER TO THE "STATE OF IDAHO, CATALOG OF STORMWATER BEST MANAGEMENT PRACTICES FOR IDAHO CITIES AND COUNTIES" FOR FURTHER DETAILS ON BMP IMPLEMENTATION AND INSTALLATION.
  - ALL EROSION AND SEDIMENT CONTROL BMP'S SHALL BE INSTALLED PRIOR TO THE START OF ANY PROJECT CONSTRUCTION OR EARTH DISTURBING ACTIVITIES AND SHOULD REMAIN IN PLACE UNTIL ALL DISTURBED/EXPOSED AREAS HAVE BEEN STABILIZED AND/OR REVEGETATED.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL BMP'S IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
  - WORK ACTIVITIES SHALL TAKE PLACE WITHIN THE CLEARING LIMITS AS SHOWN ON THIS PLAN. CONTRACTOR SHALL PRESERVE NATURAL VEGETATION OUTSIDE OF CLEARING LIMITS.
  - THE IMPLEMENTATION OF THESE EROSION AND SEDIMENT CONTROL MEASURES INCLUDING INSTALLATION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THIS PLAN IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ALL PROJECT CONSTRUCTION IS COMPLETED AND APPROVED BY THE OWNER. THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AFTER THE PROJECT IS APPROVED.
  - IN GENERAL, ALL SITE GRADING ADJACENT TO NEW BUILDING STRUCTURES SHALL BE SLOPED TO DRAIN AWAY FROM THE BUILDING AT A MINIMUM OF 1.5% IN HARDSCAPE AREAS AND 4% IN LANDSCAPE AREAS. AREAS BETWEEN NEW STRUCTURES AND PROPERTY BOUNDARIES WILL BE SLOPED TO KEEP STORMWATER ON SITE AND RELEASED INTO EXISTING LANDSCAPED AREAS. SEE ARCHITECT'S LANDSCAPING PLAN FOR DETAILS.

- LEGEND:**
- PROPERTY BOUNDARY
  - EXISTING CONTOUR
  - PROPOSED CONTOUR
  - PROPOSED ROOF AREA
  - PROPOSED ASPHALT AREA
  - PROPOSED DRAINAGE SWALE/FLOW LINE
  - PROPOSED GRADE BRAKE LINE
  - SILT FENCE
  - CL CLEARING/CONSTRUCTION LIMITS
  - PRESERVE EXISTING VEGETATION
  - PROPOSED/EXISTING DRAINAGE FLOW DIRECTION ARROW
  - SPOT ELEVATION (FG/EG)
  - DRAINAGE FLOW ARROW W/SLOPE
  - FG FINISHED GRADE
  - EG EXISTING GROUND
  - TOC TOP OF CURB
  - GB GRADE BREAK
  - FL FLOW LINE

**CRESTLINE**  
ENGINEERS  
323 DEINHARD LANE, SUITE C · PO BOX 2330  
McCALL, IDAHO 83638  
208.634.4140 · 208.634.4146 FAX

# PRELIMINARY GRADING, DRAINAGE AND STORMWATER MANAGEMENT PLAN - 1

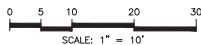
McCALL PARKS RELOCATION



1. REFER TO SHEET 7 FOR GRADING NOTES AND LEGEND.



NORTH

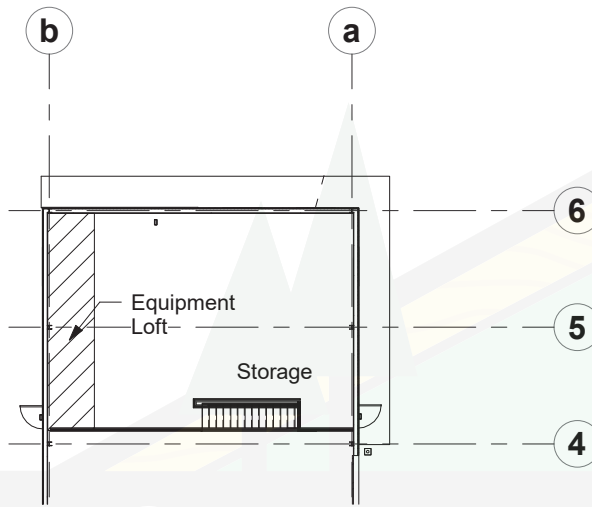


## PRELIMINARY GRADING, DRAINAGE AND STORMWATER MANAGEMENT PLAN - 2

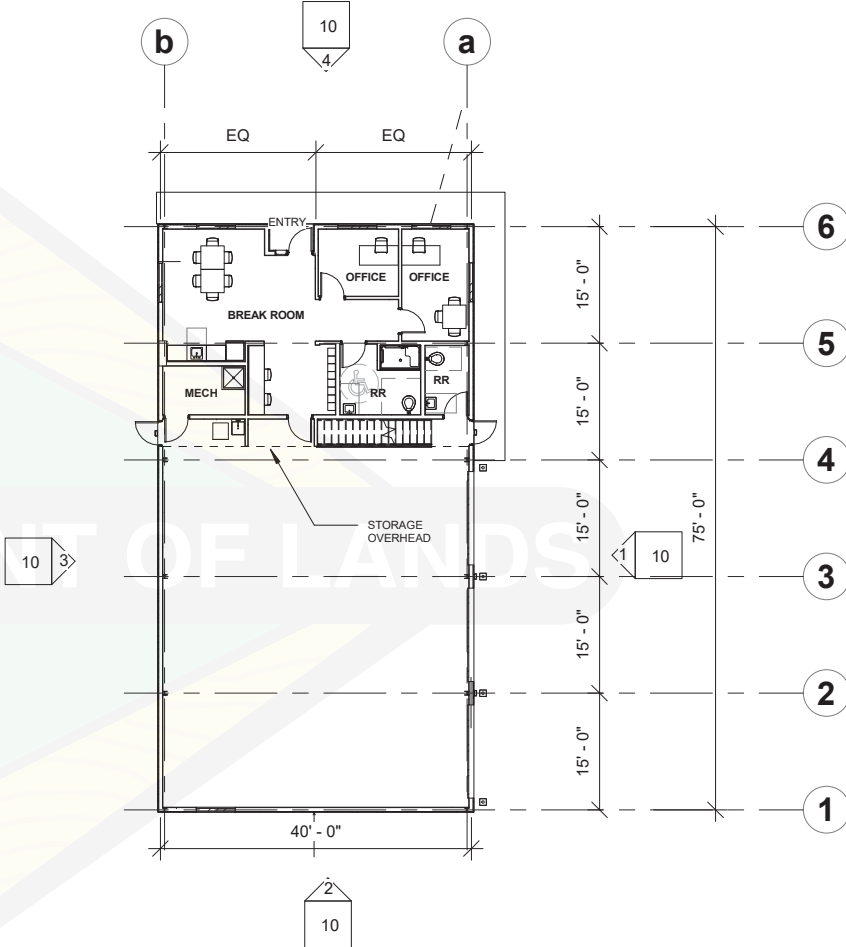
McCALL PARKS RELOCATION

8


**RATIO**



**2 Mezzanine**  
1/16" = 1'-0"



**1 Level 1**  
1/16" = 1'-0"

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Exterior Material Schedule				
Type Mark	Description	Manufacturer	Model	Color
MP-1	Metal Wall Panels	RM STEEL	PBR36	PACIFIC WHITE
MP-2	Metal Wall Panels	RM STEEL	PBR36	CHARCOAL
MP-3	Metal Roof	RM STEEL	PBR36	PACIFIC WHITE

NOTE: PHASE 2 EXPANSION - 2 BAYS ADDED TO SOUTH. MATERIAL TO MATCH PHASE 1.



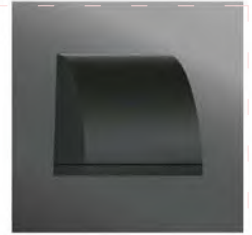
PBR PANEL PROFILE MP-1, MP-2, MP-3



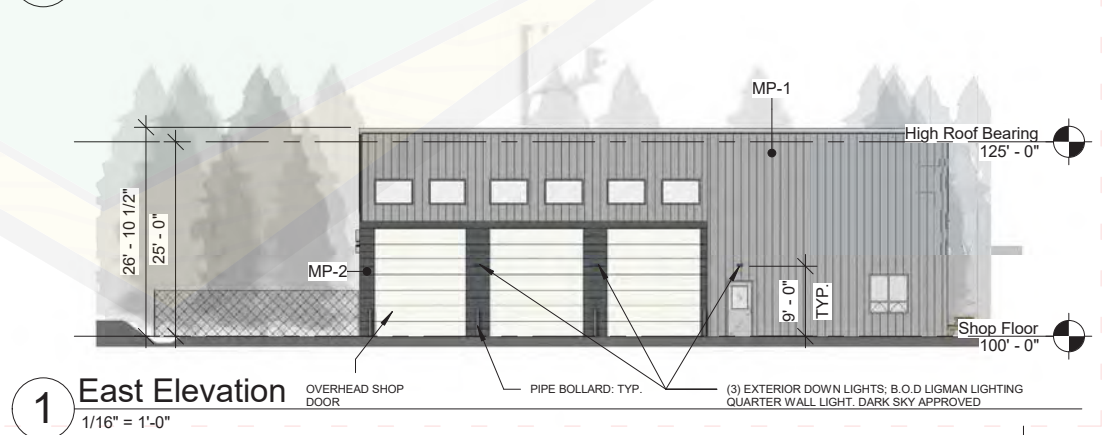
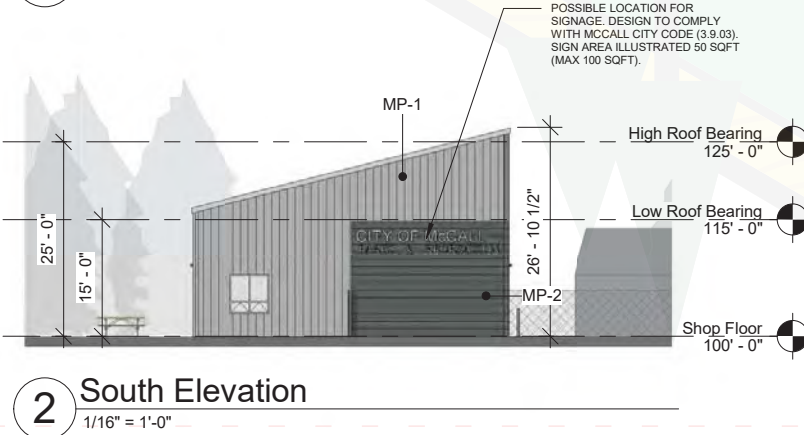
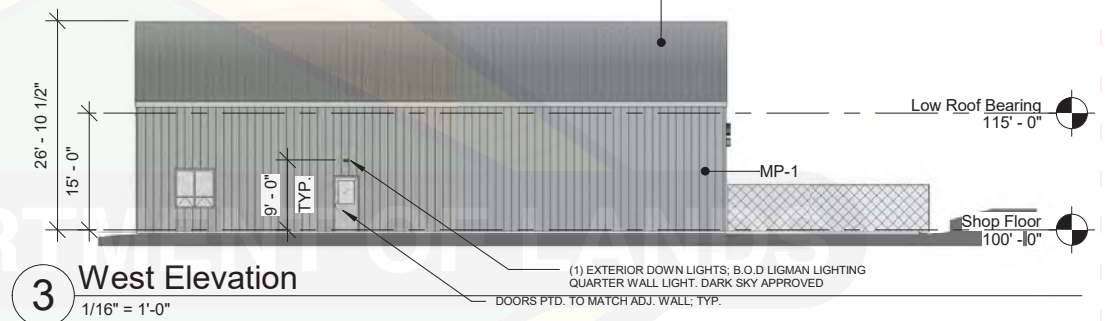
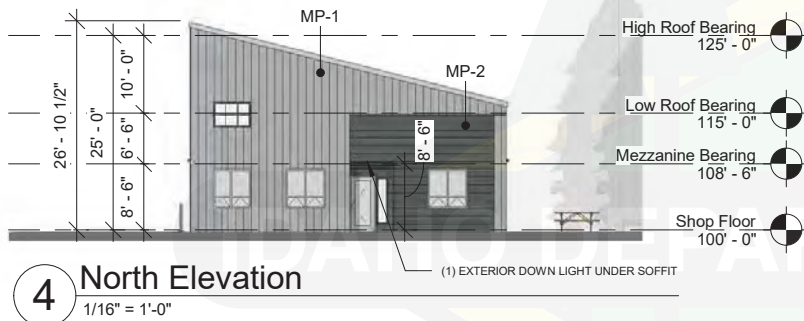
MP-1, MP-3 : PREFINISHED PBR PANEL GALVALUME PLUS- PACIFIC WHITE



MP-2 : PREFINISHED PBR PANEL GALVALUME PLUS- CHARCOAL



EXTERIOR LIGHTING B.O.D. LIGMAN LIGHTING QUARTER WALL LIGHT. DARK SKY APPROVED: TO MEET MCCALL CITY CODE STANDARDS (3.14.05)



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VIEW FROM EAST

APPROXIMATE LOCATION  
OF NORTH END OF  
BUILDING

APPROXIMATE LOCATION  
OF CONNECTING DRIVE TO  
MUSEUM PARKING AREA



VIEW FROM NORTH

APPROXIMATE LOCATION  
OF NORTH END OF  
BUILDING

EXISTING EASTERN TERMINUS OF  
FORESTERS WALK. APPROXIMATE  
LOCATION OF PROPOSED  
CONNECTING DRIVE TO MUSEUM  
PARKING AREA



VIEW FROM SOUTH

APPROXIMATE LOCATION  
OF NORTH END OF  
BUILDING

APPROXIMATE LOCATION  
OF W. FOREST ST. ENTRY  
DRIVE (BEYOND POWER  
POLE)

19734

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SOUTHEAST PROPERTY  
CORNER



VIEW FROM WEST

APPROXIMATE LOCATION  
OF WESTERN FACADE OF  
BUILDING



MCCALL PARKS RELOCATION

SITE PHOTOS

12



RATIO





10 February 2020



**Brad Little**  
Governor of Idaho

**Janet Gallimore**  
Executive Director  
State Historic  
Preservation Officer

**Administration:**  
2205 Old Penitentiary Rd.  
Boise, Idaho 83712  
208.334.2682  
Fax: 208.334.2774

**Idaho State Museum:**  
610 Julia Davis Dr.  
Boise, Idaho 83702  
208.334.2120

**Idaho State Archives  
and State Records  
Center:**  
2205 Old Penitentiary Rd.  
Boise, Idaho 83712  
208.334.2620

**State Historic  
Preservation Office:**  
210 Main St.  
Boise, Idaho 83702  
208.334.3861

**Old Idaho Penitentiary  
and Historic Sites:**  
2445 Old Penitentiary Rd.  
Boise, Idaho 83712  
208.334.2844

HISTORY.IDAHO.GOV

Board of Land Commissioners  
Idaho Department of Lands  
300 North 6th Street, Suite 103  
Boise, Idaho 83702

**Re: Southern Idaho Timber Protection Association Site – Proposed  
McCall Parks Relocation**

Dear Commissioners:

As Administrator of the Idaho State Historic Preservation Office (SHPO), I am pleased to support the proposed relocation of the City of McCall's Parks and Recreation Department (City) to the historic Southern Idaho Timber Protection Association (SITPA) campus. The SITPA campus is listed in the National Register of Historic Places for its significant association with the conservation of Idaho's timber resources and the Civilian Conservation Corps.

Our office applauds the proactive efforts taken by the City in this process and appreciates their initiative to consult with our office early in the design stages of the project. We have met with the City and their architect on site and have reviewed the proposed location of the new shop at the southeastern corner of the compound. Our office approves the location, as it meets accepted national preservation standards for new construction. New construction in a historic site should be built in a manner that protects the integrity of the historic properties, including their setting. The proposed project is not intrusive to the historic character of the site, as it is set to the rear of the site and is compatible in scale, massing, and materials.

We appreciate the City's efforts to be conscientious of the site's important history and for being a steward of its preservation.

Sincerely,

  
Janet Gallimore  
State Historic Preservation Officer  
Idaho State Historic Preservation Office



Central Idaho Historical Museum  
1001 State Street  
McCall, ID 83638

January 31, 2020

Kurt K. Wolf  
Parks & Recreation Director  
City of McCall – Parks & Recreation Dept.  
216 E. Park Street  
McCall, Idaho 83638

Re: Proposed Relocation of Parks Department to the CIHM Grounds

Dear Kurt,

On behalf of the Central Idaho Museum Board, I want to confirm our support of your efforts to relocate the shop and related facilities for the McCall Parks Department to the grounds of the Central Idaho Historic Museum (“CIHM”). The plans you envision will occupy a section of the grounds that are not used by CIHM and will neither displace nor negatively impact the presence of the seven historic buildings on the site. We also believe that having the City of McCall Parks employees on site will bring great energy to the site, and will only increase the strength of the partnership between the City and CIHM to maintain and showcase this beautiful and important site. Your organization has already provided tremendous support to the restoration and maintenance of the site and its historic structures, and we very much appreciate that.

Finally, you have involved the CIHM board in the proposed project as a whole, as well as the design process. You have been discussing this with members of our Board for quite some time, and in earnest at our recent meetings. Much of the design for this project has been impacted by our input. We are grateful for this and for the thoughtfulness of you and your team. Attached are excerpts from minutes of those meetings.

Thank you and best regards,

Julie Grove,  
President, Central Idaho Historic Museum

January 31, 2020

Kurt Wolf  
Director  
McCall Parks and Recreation Department

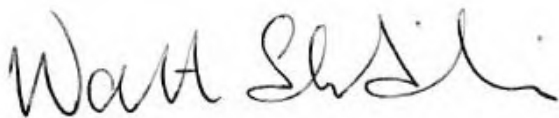
Kurt,

On behalf of the McCall Historic Preservation Commission, I want to reiterate our support for your efforts to relocate the Parks and Recreation Shop to the grounds of the Central Idaho Historic Museum. The plans you envision will occupy a section of the grounds that are not used and will neither displace nor negatively impact the presence of the seven historic buildings on the site. We also believe that having City of McCall employees on the site will bring great energy to one of McCall's premier central park locations.

The partnership that the City of McCall has with the Central Idaho Historic Museum is also appreciated. Your organization has provided tremendous support to the restoration and maintenance of the site and its historic structures.

Finally, we appreciate your attendance at our most recent Commission meeting on January 13 to share your plans and to seek our input.

Best regards,

A handwritten signature in black ink, appearing to read "Walt Sledzieski". The signature is fluid and cursive, with a long horizontal stroke at the end.

Walt Sledzieski  
Chair  
McCall Historic Preservation Commission

# STATE BOARD OF LAND COMMISSIONERS

April 21, 2020  
Regular Agenda

## Subject

Department of Lands Fiscal Year 2021 (FY21) Timber Sales Plan

## Question Presented

Shall the Board approve the FY21 Timber Sales Plan?

## Discussion

The proposed FY21 Timber Sales Plan, letters of transmittal, sales plan history chart, public comment letters, and Executive Summary of the 2019 FAMP are attached (Attachments 1, 2, 3, 4, and 5). The GNA Sales Plan is included as Attachment 6. The Timber Sales Plan outlines volume targets and likely harvest proposals. The Department has considered market-related impacts due to COVID-19, as shown in Attachment 7.

The proposed FY21 Timber Sales Plan begins implementation of the Land Board approved 2019 Forest Asset Management Plan (FAMP).

The volume in the FY21 Sales Plan is determined primarily by a 200-year sustained harvest forecast developed in 2018 and 2019 utilizing Stand Based Inventory data, Woodstock optimization models, and the Continuous Forest Inventory (CFI) data configured Forest Vegetation Simulator (FVS) growth model. The Department recommends that the annual sale level for FY21 be established as displayed in the table below:

<b>Supervisory Area</b>	<b>Annual Sale Volume FY21 Recommended</b>
Priest Lake	21 MMBF
Pend Oreille Lake	29 MMBF
Mica	18 MMBF
St. Joe	70 MMBF
Ponderosa	40 MMBF
Clearwater	50 MMBF
Maggie Creek	24 MMBF
Payette Lakes	21 MMBF
Southwest Idaho	12 MMBF
Eastern Idaho	5 MMBF
<b>Total</b>	<b>290 MMBF</b>

Because of unforeseen natural events like wildfires, wind throw, insect infestations and disease, volumes for individual supervisory areas may vary from year to year.

As part of the FY21 Timber Sales Plan, the Department will offer 28,810 cedar poles for sale, which are included in the total 290 MMBF sale volume. Approximately 13,910 cedar poles will be available for sale using the dual-entry method and approximately 14,900 cedar poles will be available using the single-entry method.

In addition to the 290 MMBF total sawlog and pole volume, the FY21 Timber Sales Plan includes an estimated 3,520 MBF of cedar products.

Additional cedar product and pulp volumes may be available for removal at the option of the sale purchaser or in accordance with Land Board policy.

Information regarding all potential FY21 sales was posted on the Department's public website from June 2019 to January 2020. The draft proposed FY21 Timber Sales Plan was posted for public review on the Department's public timber sale website on January 6, 2020 in accordance with the Board's public involvement policy. The Department received four written public comments to the Plan.

### **Recommendation**

Direct the Department to proceed with implementation of the FY21 Timber Sales Plan.

### **Board Action**

### **Attachments**

1. Proposed FY21 Timber Sales Plan
2. Transmittal Letters
3. Sales Plan History Chart
4. Public Comment Letters
5. 2019 FAMP Executive Summary
6. GNA Sales Plan
7. COVID-19 Market Related Impacts

# IDAHO DEPARTMENT OF LANDS FY21 TIMBER SALE PLAN

July 1, 2020 – June 30, 2021

## Priest Lake Supervisory Area

SALE NO.	SALE NAME	SUBDIVISION	SEC	T & R	APPROXIMATE ACREAGE	VOLUME
1	<b>Trapline</b>	Pts. NWSW, Pts. E2	7	63N/4W	150	2,800 MBF
		Pts. W2NW, Pts. N2SW	8	63N/4W		
		Pts. NE	18	63N/3W		

Estimated Auction: Summer 2020

This sale is located approximately 23.0 air miles north of Coolin, Idaho in Bonner County within the Trapper Creek drainage. The silvicultural prescriptions will be a combination of clearcut and seed tree. Ground-based harvesting methods will be required for this sale. Developments will include 7.0 miles of main road opening and 1.0 mile of spur road opening. Trapper Creek and one unnamed Class I stream are adjacent but not within 75 feet of the sale area. Two Class II streams are adjacent but not within 50 feet of the sale area.

2	<b>Caribou Conks Pulp</b>	Pts. SWNE, Pts. E2SW, Pts. W2SE	23	63N/4W	90	1,100 MBF
		Pts. NWNE, Pts. E2NW	26	63N/4W		2,400 Pulp
		Pts. W2NE, Pts. NESW	34	63N/4W		
		Pts. Govt. Lots 3 & 4, Pts. W2	3	62N/4W		

Estimated Auction: Summer 2020

This sale is located approximately 21.0 air miles north of Coolin, Idaho in Bonner County within the Caribou Creek drainage. The silvicultural prescriptions will include small group selection and clearcut. Ground-based yarding methods will be required on this sale. Developments will include 0.7 mile of spur road reconstruction and 5.0 miles of spur road opening. Caribou Creek is a Class I stream and is adjacent but not within 75 feet of the sale area. There are two unnamed Class II streams and one large wet area within the sale area.

# IDAHO DEPARTMENT OF LANDS FY21 TIMBER SALE PLAN

July 1, 2020 – June 30, 2021

Priest Lake  
Supervisory Area

SALE NO.	SALE NAME	SUBDIVISION	SEC	T & R	APPROXIMATE	
					ACREAGE	VOLUME
<b>3</b>	<b>Knobby Bear</b>	Pts. Govt. Lots 6 & 7	6	61N/3W	800	3,700 MBF
		Pts. Govt. Lots 1, 2 & 3, E2SW	7	61N/3W		
		Pts. S2SW, Pts. W2SE	1	61N/4W		
		Pts. SENE, SE	10	61N/4W		
		Pts. E2SE	11	61N/4W		
		Pts. NE, N2NW, SENW	12	61N/4W		
		Pts. N2SW, Pts. SWSW, Pts. SE	12	61N/4W		
		Pts. N2NE	13	61N/4W		
		Pts. W2NE, NW, NWSE	14	61N/4W		
		Pts. NE, SENW	15	61N/4W		
		Pts. S2SW, SWSE	25	61N/4W		
		Pts. S2SE	26	61N/4W		
		Pts. NE	35	61N/4W		
		Pts. N2NE, SWNE, NW, NESW	36	61N/4W		

Estimated Auction: Spring 2020

This sale is located approximately 10.0 - 15.0 air miles northeast of Coolin, Idaho in Bonner and Boundary Counties within the Bear Creek and Two Mouth Creek drainages. The silvicultural prescriptions will be a combination of clearcut, seed tree, selective and overstory removal. Ground-based and cable yarding with multi-span capabilities will be required on this sale. Developments will include 1.0 mile of spur road reconstruction, 10.0 miles of secondary road opening and 14.0 miles of spur road opening. Bear Creek and Two Mouth Creek are Class I streams and are adjacent but not within 75 feet of the sale area. Several unnamed Class II perennials and intermittent streams are within the sale area.

<b>4</b>	<b>Father Roothaan</b>	Pts. Govt. Lots 4, 5 & 6, Pts. SENW	6	60N/3W	142	3,200 MBF
		Pts. E2NE	1	60N/4W		
		Pts. S2SW	28	61N/3W		
		Pts. SESE	29	61N/3W		
		Pts. E2NE, Pts. NESE	32	61N/3W		
		Pts. W2NW, Pts. NWSW	33	61N/3W		

Estimated Auction: Summer 2020

This sale is located approximately 10.0 air miles northeast of Coolin, Idaho in Bonner County within the Hunt Creek drainage. The silvicultural prescriptions will be a combination of clearcut and seed tree. Ground-based and cable yarding with multi-span capabilities will be required on this sale. Developments will include 2.0 miles of new spur road construction, 1.5 miles of spur road opening and 5.0 miles of secondary road opening. Hunt Creek is a Class I stream and is adjacent but not within 75 feet of the sale area. Several unnamed Class II perennials and intermittent streams are within the sale area.

<b>5</b>	<b>Rocky Point</b>	Pts. Govt. Lots 1 - 7	22	60N/4W	175	1,500 MBF
		Pts. E2SW	22	60N/4W		

Estimated Auction: Winter 2021

This sale is located approximately 4.0 air miles north of Coolin, Idaho in Bonner County on the Rocky Point peninsula of Priest Lake. The silvicultural prescriptions will involve seed tree and shelterwood. Ground-based yarding will be required on this sale. Developments will include 1.0 mile of spur road opening. Priest Lake is not within 75 feet of the sale area and no streams are within the sale area.

# IDAHO DEPARTMENT OF LANDS FY21 TIMBER SALE PLAN

July 1, 2020 – June 30, 2021

## Priest Lake Supervisory Area

SALE NO.	SALE NAME	SUBDIVISION	SEC	T & R	APPROXIMATE	
					ACREAGE	VOLUME
6	<b>Dickensheet OSR</b>	Pts. SWSE	7	59N/4W	576	1,300 MBF
		Pts. SWNW, Pts. NWSW	17	59N/4W		
		Pts. Govt. Lots 7, 8 & 9	18	59N/4W		
		Pts. NWNE, Pts. SENE, Pts. NENW	18	59N/4W		
		Pts. E2NE, Pts. SWNE	20	59N/4W		
		Pts. NESW, Pts. S2SW, Pts. SE	20	59N/4W		
		Pts. Govt. Lot 1, Pts. NW, Pts. NESW	29	59N/4W		
		Pts. Govt. Lots 5 & 9	30	59N/4W		
		Pts. SWSE	33	59N/4W		
		Pts. Govt. Lots 1, 2, 3, 4, 6 & 7	4	58N/4W		
		Pts. E2SW, Pts. N2SE, Pts. SWSE	4	58N/4W		
		Pts. Govt. Lots 1, 3 & 5, Pts. NENW	9	58N/4W		
		Pts. NENW	9	58N/4W		
		Pts. S2NW, Pts. N2SW	14	58N/4W		

Estimated Auction: Summer 2020

This sale is located approximately 4.0 – 7.0 air miles south of Coolin, Idaho in Bonner County within the Priest River and North Fork East River drainages. The silvicultural prescription for the entire sale will include overstory removal methods. Ground-based and cable yarding methods will be required. Developments will include 6.0 miles of spur road opening. There are a few unnamed Class II streams within or adjacent to the sale area.

7	<b>Atlasta Jungle</b>	Pts. Govt. Lot 4, Pts. SWNW	4	58N/3W	370	4,100 MBF
		Pts. W2SW	4	58N/3W		
		Pts. Govt. Lots 1 & 2, Pts. SENE	5	58N/3W		
		Pts. W2SW, Pts. SE	5	58N/3W		
		Pts. Govt. Lot 7, Pts. SESW	6	58N/3W		
		Pts. SE	6	58N/3W		
		Pts. Govt. Lots 1 & 2, Pts. N2NE	7	58N/3W		
		Pts. E2NW	7	58N/3W		
		Pts. E2NE, Pts. NWNE	8	58N/3W		
		Pts. W2NW	9	58N/3W		

Estimated Auction: Summer 2020

This sale is located approximately 7.0 air miles southeast of Coolin, Idaho in Bonner County within the Middle Fork East River drainage. The silvicultural prescriptions will be a combination of clearcut and overstory removal methods. Ground-based and cable yarding will be required on this sale. Developments will include 0.1 mile of new spur road construction, 9.1 miles of spur road reconstruction and 2.4 miles of secondary road opening. Middle Fork East River is a Class I stream and is not within 1,000 feet of the sale area. Several unnamed Class II perennials and intermittent streams are within the sale area.



# IDAHO DEPARTMENT OF LANDS FY21 TIMBER SALE PLAN

July 1, 2020 – June 30, 2021

Priest Lake  
Supervisory Area

SALE NO.	SALE NAME	SUBDIVISION	SEC	T & R	APPROXIMATE ACREAGE	VOLUME
8	Junta Sawlog	Pts. SWNE, Pts. E2NW	28	59N/3W	191	2,900 MBF
		Pts. SWNW, Pts. SW, Pts. NWSE	28	59N/3W		
		Pts. NW	29	59N/3W		
		Pts. SESW, Pts. SWSE	30	59N/3W		
		Pts. NWNE, Pts. SESW	31	59N/3W		
		Pts. N2NW	33	59N/3W		

Estimated Auction: Summer 2020

This sale is located approximately 6.0 air miles south of Coolin, Idaho in Bonner County within the North Fork East River and Junta Creek drainages. The silvicultural prescriptions will be a combination of clearcut, seed tree and overstory removal methods. Ground-based and cable yarding methods will be required for this sale. Developments will include 5.0 miles of spur road reconstruction. The North Fork East River and Junta Creek are both Class I streams and are adjacent but not within 75 feet of the sale area.

Additional small volume sales:

80 400 MBF

**TOTALS:** 2,574 21,000 MBF  
2,400 Pulp

IDAHO DEPARTMENT OF LANDS

# IDAHO DEPARTMENT OF LANDS FY21 TIMBER SALE PLAN

July 1, 2020 – June 30, 2021

Pend Oreille Lake  
Supervisory Area

SALE NO.	SALE NAME	SUBDIVISION	SEC	T & R	APPROXIMATE ACREAGE	VOLUME
1	<b>Hello Elk</b>	Pts. W2SW Pts. S2NE, Pts. NW Pts. E2SW, Pts. SE	25 36 36	62N/1W 62N/1W 62N/1W	200	3,000 MBF

Estimated Auction: Summer 2020

The sale area is located approximately 4.0 air miles west of Bonners Ferry, Idaho in the Deep Creek drainage. This sale will utilize seed tree and overstory removal silvicultural prescriptions. Ground-based and cable yarding methods will be required. Developments will include 2.5 miles of spur road opening and 1.8 miles of spur road reconstruction. Class II streams are present.

2	<b>Downfall OSR</b>	Pts. NWSW, W2SWSW Pts. Govt. Lots 6 & 7 Pts. S2NE, Pts. SENW Pts. E2SW, Pts. NESE W2SE, SESE Pts. SWNE, Pts. SENW Pts. NESW, Pts. NWSE Pts. N2	5 6 6 6 6 7 7 8	60N/1W 60N/1W 60N/1W 60N/1W 60N/1W 60N/1W 60N/1W 60N/1W	510	3,500 MBF
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Estimated Auction: Summer 2020

The sale area is located approximately 5.0 air miles west of Naples, Idaho in the Fall Creek drainage. This sale will utilize overstory removal, clearcut, and seed tree silvicultural prescriptions. Ground-based and cable yarding methods will be required. Developments will include 3.4 miles of spur road opening, 0.2 mile of spur road reconstruction, and new construction of 4.1 miles of spur road. Class I and Class II streams are present.

3	<b>Big Bear</b>	Pts. Govt. Lot 11 Pts. Govt. Lot 1 Pts. SWSE Pts. NESE Pts. NE, Pts. E2NW, Pts. SWNW Pts. N2SW, Pts. NWSE	6 7 1 11 12 12	57N/3W 57N/3W 57N/4W 57N/4W 57N/4W 57N/4W	160	4,060 MBF
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Estimated Auction: Summer 2020

The sale area is located approximately 9.0 air miles west of Sandpoint, Idaho in the Big and Blue Creek drainages. This sale will utilize seed tree and clearcut silvicultural prescriptions. Ground-based and cable yarding methods will be required. Developments will include 3.0 miles of spur road reconstruction. Class I and Class II streams are present.

4	<b>Upper Curtis</b>	Pts. S2NE, Pts. N2NW Pts. SENW, Pts. NWSE	26 26	55N/5W 55N/5W	100	1,600 MBF
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Estimated Auction: Fall 2020

The sale area is located approximately 5.5 air miles northeast of Blanchard, Idaho in the McDonald and Curtis Creek drainages. This sale will utilize a clearcut silvicultural prescription. Ground-based and cable yarding methods will be required. Developments will include 2.3 miles of spur road reconstruction and new construction of 0.5 mile of spur road. Class II streams are present.

# IDAHO DEPARTMENT OF LANDS FY21 TIMBER SALE PLAN

July 1, 2020 – June 30, 2021

Pend Oreille Lake  
Supervisory Area

SALE NO.	SALE NAME	SUBDIVISION	SEC	T & R	APPROXIMATE	
					ACREAGE	VOLUME
<b>5</b>	<b>Springboard</b>	Pts. NE, Pts. N2NW, Pts. SENW	22	58N/1E	120	1,050 MBF

Estimated Auction: Fall 2020

The sale area is located approximately 10.0 air miles northeast of Ponderay, Idaho in the Spring Creek drainage. This sale will utilize an overstory removal silvicultural prescription. Ground-based yarding methods will be required. Developments will include 5.0 miles of spur road opening and 2.0 miles of spur road reconstruction. Class I and Class II streams are present.

<b>6</b>	<b>View Finder</b>	Pts. NWSW	3	57N/4W	240	3,080 MBF
		Pts. NE, Pts. W2NW, Pts. N2SE	9	57N/4W		
		Pts. SWNW, Pts. N2SW	10	57N/4W		

Estimated Auction: Winter 2021

The sale area is located approximately 8.0 miles northeast of Priest River, Idaho in the Prater and Ranger Creek drainages. This sale will utilize overstory removal, clearcut, and seed tree silviculture prescriptions. Ground-based and cable yarding methods will be required. Developments will include 2.6 miles of spur road opening and 3.7 miles of secondary road reconstruction. Class I and class II streams are present.

<b>7</b>	<b>Fragile</b>	Pts. E2SW, Pts. SE	10	60N/1E	285	5,750 MBF
		Pts. NWNE, Pts. S2NE	16	60N/1E		
		Pts. NWNW, Pts. S2NW	16	60N/1E		
		Pts. SW, Pts. SE	16	60N/1E		
		Pts. SENE, Pts. NESE	17	60N/1E		

Estimated Auction: Winter 2021

The sale area is located approximately 2.5 air miles southeast of Naples, Idaho in the Trail Creek drainage. This sale will utilize seed tree, clearcut, and overstory removal silvicultural prescriptions. Ground-based and cable yarding methods will be required. Developments will include 7.1 miles of spur road opening and 0.3 mile of spur road reconstruction. Class I and Class II streams are present.

# IDAHO DEPARTMENT OF LANDS FY21 TIMBER SALE PLAN

July 1, 2020 – June 30, 2021

Pend Oreille Lake  
Supervisory Area

SALE NO.	SALE NAME	SUBDIVISION	SEC	T & R	APPROXIMATE	
					ACREAGE	VOLUME
8	Last Stitch OSR	Pts. SW	16	54N/4W	1,310	6,860 MBF
		N2NE, Pts. S2NE, N2NW	20	54N/4W		
		Pts. S2NW, Pts. SW, Pts. N2SE	20	54N/4W		
		Pts. SWNE, Pts. NW, Pts. S2	22	54N/4W		
		Pts. S2NE, Pts. N2NW	28	54N/4W		
		Pts. SWNW, SENW, SW	28	54N/4W		
		W2SE, Pts. W2SE	28	54N/4W		
		Pts. SWNE, Pts. E2NW, W2NW	34	54N/4W		
		Pts. NESW, Pts. W2SW	34	54N/4W		

Estimated Auction: Winter 2021

The sale area is located approximately 3.0 air miles north of Spirit Lake, Idaho in the Spirit and Hoodoo Creek drainages. This sale will utilize an overstory removal silvicultural prescription. Ground-based and cable yarding methods will be required. Developments will include 15.0 miles of spur road opening and rock pit development. There are no streams within the sale area.

Additional small volume sales:

20 100 MBF

**TOTALS:** 2,945 29,000 MBF

IDAHO DEPARTMENT OF LANDS

# IDAHO DEPARTMENT OF LANDS FY21 TIMBER SALE PLAN

July 1, 2020 – June 30, 2021

Mica  
Supervisory Area

SALE NO.	SALE NAME	SUBDIVISION	SEC	T & R	APPROXIMATE ACREAGE	VOLUME
1	<b>Bear Creek OSR</b>	Pts. SWNW, Pts. SW, Pts. S2SE	10	49N/2E	390	4,500 MBF
		Pts. W2NE, Pts. NW, Pts. SW	13	49N/2E		
		Pts. SENE, Pts. SESE	14	49N/2E		
		Pts. NE, Pts. SW, Pts. NESE	23	49N/2E		
		Pts. SENE, Pts. W2NW, Pts. SE	24	49N/2E		

Estimated Auction: Fall 2020

This sale is located approximately 4.0 air miles northeast of Pinehurst, Idaho in the Bear Creek drainage. The silvicultural prescriptions consist of overstory removal and clearcut. Both ground and cable based yarding will be utilized. Developments include 1.6 miles of new secondary road construction and approximately 20.0 miles of secondary road opening. Class I and Class II streams are present.

2	<b>North Initial</b>	Pts. Govt. Lots 6 & 7	17	48N/1W	480	5,900 MBF
		Pts. Govt. Lots 3-8, Pts. SWNE	18	48N/1W		
		Pts. SESW, Pts. SWSE	18	48N/1W		
		Pts. NWNE, Pts. E2NE	19	48N/1W		
		Pts. Govt. Lot 1, Pts. NENW	19	48N/1W		
		Pts. SESW, Pts. S2SE	13	48N/2W		
		Pts. N2NE, Pts. E2NW	24	48N/2W		

Estimated Auction: Spring 2021

This sale is located approximately 2.5 air miles southwest of Rose Lake, Idaho in the Blackrock Gulch and Coeur d'Alene river drainage. The silvicultural prescriptions consist of overstory removal, shelterwood and three clearcut units. Both ground and cable yarding will be utilized. Developments include 2.0 miles of new spur road construction, 2.25 miles of spur road reconstruction, 2.5 miles of main haul road opening, 8.0 miles of secondary road opening and 1.5 miles of spur road opening. Class II streams are present.

3	<b>Something Fishy</b>	Pts. Govt. Lots 3-5	4	52N/5W	491	7,400 MBF
		Pts. NESW, Pts. NESE	5	52N/5W		
		NWSE, Pts. SWSE	5	52N/5W		
		Pts. NWNE	8	52N/5W		
		Pts. S2NE	36	53N/6W		
		Pts. NENW, Pts. Govt. Lots 1-3	36	53N/6W		
		Pts. SENW Pts. NESW	36	53N/6W		
		Govt. Lot 4, SESW, NESE	36	53N/6W		
		Pts. NWSE, SWSE, Pts. SESE	36	53N/6W		

Estimated Auction: Spring 2021

This sale is located approximately 7.0 air miles east of Coeur d'Alene, Idaho in the Wolf Lodge Creek drainage. The silvicultural prescriptions consist of overstory removal and clearcut harvests. Both ground and cable yarding will be utilized. Developments include approximately 0.62 mile of new spur road construction and approximately 5.0 miles of spur road opening. There is a Class I stream adjacent to the sale area and several Class II streams within the sale area.

**Additional small volume sales:**

100      200 MBF

**TOTALS:**    1,461      18,000 MBF

# IDAHO DEPARTMENT OF LANDS FY21 TIMBER SALE PLAN

July 1, 2020 – June 30, 2021

St. Joe  
Supervisory Area

SALE NO.	SALE NAME	SUBDIVISION	SEC	T & R	APPROXIMATE ACREAGE	VOLUME
1	Some Help OSR	Pts. S2NE, Pts. NW	23	45N/2W	386	4,800 MBF
		Pts. SW, Pts. SE	23	45N/2W		
		Pts. SW, Pts. E2SE	24	45N/2W		

Estimated Auction: Summer 2020

This sale is located approximately 5.5 air miles south of St. Maries, Idaho in the Flat Creek drainage. Overstory removal, seed tree, and clearcut silvicultural prescriptions are planned. Cable yarding and ground-based skidding will be required. Developments include approximately 1.18 miles of secondary road new construction and 6.21 miles of secondary road opening. Class I and Class II streams are present within the sale area.

2	Willow OSR	Pts. SESE	10	43N/3W	132	2,000 MBF
		Pts. E2NW	11	43N/3W		
		Pts. NESW	11	43N/3W		
		Pts. SWSW	11	43N/3W		
		Pts. N2NW	12	43N/3W		
		Pts. SWSW	13	43N/3W		
		Pts. NWNW	14	43N/3W		
		Pts. S2SE	14	43N/3W		
		Pts. NENE	15	43N/3W		

Estimated Auction: Fall 2020

This sale is located approximately 5.0 air miles southwest of Emida, Idaho in the Willow Creek and South Fork of Santa Creek drainages. Overstory removal and seed tree silvicultural prescriptions are planned. Ground-based skidding and cable yarding will be required. Developments include approximately 2.0 miles of secondary road opening. Class II streams are present within the sale area.

3	Lookout Above	Pts. N2NE	5	44N/1E	149	4,000 MBF
		Pts. SWNE	5	44N/1E		
		Pts. NW	5	44N/1E		
		Pts. N2SW	5	44N/1E		
		Pts. NWSE	5	44N/1E		

Estimated Auction: Fall 2020

This sale is located approximately 5.0 air miles northeast of Santa, Idaho in the Renfro Creek drainage. Clearcut and seed tree silvicultural prescriptions are planned. Ground-based skidding and cable yarding will be required. Developments include approximately 8.5 miles of secondary road opening. Class II streams are present within the sale area.

# IDAHO DEPARTMENT OF LANDS FY21 TIMBER SALE PLAN

July 1, 2020 – June 30, 2021

St. Joe  
Supervisory Area

SALE NO.	SALE NAME	SUBDIVISION	SEC	T & R	APPROXIMATE	
					ACREAGE	VOLUME
<b>4</b>	<b>Chop Cedar</b> (Single Entry)	Pts. SESW	19	41N/4E	292	6,000 MBF
		Pts. S2SE	19	41N/4E		10,000 Poles
		Pts. W2SW	20	41N/4E		
		Pts. SESW	20	41N/4E		
		Pts. W2NW	29	41N/4E		
		Pts. Govt. Lots 1-3	30	41N/4E		
		Pts. NE, Pts. E2NW	30	41N/4E		
		Pts. NESW	30	41N/4E		

Estimated Auction: Summer 2020

This sale is located approximately 10.0 air miles northeast of Elk River, Idaho in the Breakfast Creek drainage. Shelterwood silvicultural prescription is planned. Helicopter and cable yarding will be required. Developments include approximately 0.76 mile of spur road new construction, approximately 0.5 mile of spur road reconstruction and 8.6 miles of secondary road will be opened. Class I and Class II streams are present within the sale area.

<b>5</b>	<b>Smith Shacktor</b>	Pts. Govt. Lots 2 & 3	31	41N/5E	140	4,600 MBF
		Pts. NENW	31	41N/5E		
		Pts. SENW	31	41N/5E		
		Pts. NENE	36	41N/4E		
		Pts. W2NE	36	41N/4E		
		Pts. SENE	36	41N/4E		
		Pts. NESE	36	41N/4E		
		Pts. NWSE	36	41N/4E		

Estimated Auction: Spring 2021

This sale is located approximately 32.0 air miles southeast of Clarkia, Idaho in the North Fork of the Clearwater River drainage. Clearcut and shelterwood silvicultural prescriptions are planned. Ground-based skidding and cable yarding will be required. Developments include approximately 1.35 miles of secondary road new construction and approximately 2.0 miles of secondary road reconstruction. Class II streams are present within the sale area.



# IDAHO DEPARTMENT OF LANDS FY21 TIMBER SALE PLAN

July 1, 2020 – June 30, 2021

St. Joe  
Supervisory Area

SALE NO.	SALE NAME	SUBDIVISION	SEC	T & R	APPROXIMATE ACREAGE	VOLUME
<b>6</b>	<b>Pocono Poke</b>	Pts. SW Pts. SE	27 28	45N/3E 45N/3E	218	8,400 MBF

Estimated Auction: Summer 2020

This sale is located approximately 6.5 air miles southeast of Calder, Idaho in the Marble Creek drainage. Shelterwood and clearcut silvicultural prescriptions are planned. The clearcut (110 acres) prescription was chosen because of rapidly declining merchantability due to widespread insect and disease infestations. Cable yarding and ground-based skidding will be required. Developments include approximately 0.95 mile of secondary road new construction and 3.15 miles of secondary road opening. Class II streams are present within the sale area.

<b>7</b>	<b>Lights Out</b>	Pts. NW, Pts. N2SW Pts. SE Pts. W2SW, Pts. SE Pts. SWSW Pts. NWNE Pts. NENW	13 13 19 20 30 30	42N/4E 42N/4E 42N/5E 42N/5E 42N/5E 42N/5E	194	7,300 MBF
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Estimated Auction: Spring 2021

This sale is located approximately 40.0 air miles southeast of Clarkia, Idaho in the Floodwood Creek and Cedar Creek drainages. Clearcut, overstory removal, and shelterwood silvicultural prescriptions are planned. Cable yarding and ground-based skidding will be required. Developments include approximately 0.2 mile of secondary road new construction, approximately 3.0 miles of secondary road reconstruction and 5.2 miles of secondary road opening. Class I and Class II streams are present within the sale areas.

<b>8</b>	<b>Renfro Conversion</b>	Pts. SESW Pts. SE Pts. SW Pts. SWNE	8 8 9 17	44N/1E 44N/1E 44N/1E 44N/1E	96	3,000 MBF
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Estimated Auction: Fall 2020

This sale is located approximately 4.0 air miles northeast of Santa, Idaho in the Renfro Creek drainage. Clearcut silvicultural prescription is planned. Cable yarding will be required. Developments include approximately 3.0 miles of secondary road opening. Class I and II streams are present within the sale area.

# IDAHO DEPARTMENT OF LANDS FY21 TIMBER SALE PLAN

July 1, 2020 – June 30, 2021

St. Joe  
Supervisory Area

SALE NO.	SALE NAME	SUBDIVISION	SEC	T & R	APPROXIMATE ACREAGE	VOLUME
9	Upper Crystal	Pts. SESE	10	44N/1E	308	7,200 MBF
		Pts. W2W2	11	44N/1E		
		Pts. E2NE	15	44N/1E		
		Pts. SWNE	15	44N/1E		
		Pts. NWSE	15	44N/1E		
		Pts. N2, Pts. SW	16	44N/1E		
		Pts. NWSE	16	44N/1E		

Estimated Auction: Summer 2020

This sale is located approximately 5.0 air miles northeast of Santa, Idaho in the Crystal Creek drainage. Shelterwood and overstory removal silvicultural prescriptions are planned. Both ground-based skidding and cable yarding will be required. Developments include approximately 1.72 miles of secondary road new construction, approximately 0.8 mile of secondary road reconstruction and 19.9 miles of secondary road opening. Class I and II streams are present within the sale area.

10	Jump Start	Pts. SESW	14	43N/1W	136	4,200 MBF
		Pts. NESE	14	43N/1W		
		Pts. SWSE, SESE	14	43N/1W		
		Pts. SWNE	14	43N/1W		
		Pts. SENE	15	43N/1W		
		Pts. NWSE	15	43N/1W		
		Pts. NESE	15	43N/1W		

Estimated Auction: Spring 2021

This sale is located approximately 3.0 air miles southwest of Fernwood, Idaho in the Little Carpenter Creek drainage. A clearcut silvicultural prescription is planned. Ground-based skidding and cable yarding will be required. Developments include approximately 5.0 miles of secondary road opening. Class I and Class II streams are present within the sale area.

# IDAHO DEPARTMENT OF LANDS FY21 TIMBER SALE PLAN

July 1, 2020 – June 30, 2021

St. Joe  
Supervisory Area

SALE NO.	SALE NAME	SUBDIVISION	SEC	T & R	APPROXIMATE	
					ACREAGE	VOLUME
11	Up and Away	Pts. SESE	4	43N/1W	377	9,800 MBF
		Pts. W2NE	5	43N/1W		
		Pts. N2SW	5	43N/1W		
		Pts. SWSW	5	43N/1W		
		Pts. NWSE	5	43N/1W		
		Pts. NE	9	43N/1W		
		Pts. NWNE	10	43N/1W		
		Pts. N2NW	10	43N/1W		
		Pts. SWNW	10	43N/1W		
		Pts. NESW	14	43N/1W		
		Pts. S2SW	14	43N/1W		
		Pts. N2SE	14	43N/1W		
		Pts. SESE	15	43N/1W		
		Pts. S2NW	16	43N/1W		
		Pts. N2SW	16	43N/1W		
		Pts. SWSW	16	43N/1W		
		Pts. S2NE	17	43N/1W		
		Pts. W2NW	21	43N/1W		
		Pts. SWSW	25	43N/1W		
		Pts. S2SE	26	43N/1W		
		Pts. E2NE	27	43N/1W		
		Pts. SWNE	27	43N/1W		
		Pts. SENW	27	43N/1W		
		Pts. NESW	27	43N/1W		
		Pts. S2SW	27	43N/1W		
		Pts. N2SE	27	43N/1W		
		Pts. SWSE	27	43N/1W		
		Pts. W2SE	28	43N/1W		
		Pts. SWNE	26	44N/1W		
		Pts. SWNW	26	44N/1W		

Estimated Auction: Spring 2021

This sale is located approximately 4.0 air miles south of Santa, Idaho in the Heinaman, Carpenter, Little Carpenter, North Fork Tyson, Tyson and West Fork Emerald Creek drainages and the St. Maries River drainage. Shelterwood and clearcut silvicultural prescriptions are planned. Ground-based skidding and cable yarding will be required. Developments include approximately 2.0 miles of secondary road new construction, approximately 1.0 mile of secondary road reconstruction, and 5.0 miles of secondary road opening. Class II streams are present within the sale area.

# IDAHO DEPARTMENT OF LANDS FY21 TIMBER SALE PLAN

July 1, 2020 – June 30, 2021

St. Joe  
Supervisory Area

SALE NO.	SALE NAME	SUBDIVISION	SEC	T & R	APPROXIMATE	
					ACREAGE	VOLUME
12	Pokey Teepee	Pts. S2SE	36	45N/1W	523	8,300 MBF
		Pts. Govt. Lots 1 & 2	1	44N/1W		
		Pts. S2NE	1	44N/1W		
		Pts. SESW, Pts. SE	1	44N/1W		
		Pts. N2SW	2	44N/1W		
		Pts. SWSW	2	44N/1W		
		Pts. NWNE	12	44N/1W		
		Pts. NENW	12	44N/1W		
		Pts. Govt. Lots 2 - 4	4	44N/1E		
		Pts. S2NW	4	44N/1E		
		Pts. N2SW	4	44N/1E		
		Pts. Govt. Lots 3 - 7	6	44N/1E		
		Pts. SENW	6	44N/1E		
		Pts. E2	7	44N/1E		
		Pts. NWNE	18	44N/1E		

Estimated Auction: Summer 2020

This sale is located approximately 3.0 air miles northeast of Santa, Idaho in the Pokey Creek and Davis Creek drainages. Shelterwood, seed tree, and clearcut silvicultural prescriptions are planned. Ground-based skidding and cable yarding will be required. Developments include approximately 3.0 miles of secondary road opening. Class I and II streams are present within the sale area.

Additional small volume sales:

100 400 MBF

**TOTALS:** 3,051 70,000 MBF  
10,000 Poles

# IDAHO DEPARTMENT OF LANDS FY21 TIMBER SALE PLAN

July 1, 2020 – June 30, 2021

Clearwater  
Supervisory Area

SALE NO.	SALE NAME	SUBDIVISION	SEC	T & R	APPROXIMATE ACREAGE	VOLUME
1	<b>Big Face</b>	Pts. Govt. Lots 3 & 4	3	38N/4E	279	11,340 MBF
		Pts. S2NW, Pts. N2SW	3	38N/4E		
		Pts. SWSW	3	38N/4E		
		Pts. Govt. Lots 1 & 2	4	38N/4E		
		Pts. SENE, Pts. SE	4	38N/4E		
		Pts. NENE	9	38N/4E		
		Pts. NWNW	10	38N/4E		
		Pts. S2SW	34	39N/4E		

Estimated Auction: Fall 2020

This sale is located approximately 7.0 air miles northwest of Headquarters, Idaho in both the North and South Forks of the Big Creek drainage. A combination of seed tree and clearcut silvicultural prescriptions will be utilized. Both tractor and cable yarding systems will be required. Development work includes approximately 3.23 miles of new spur road construction and 1.97 miles of existing spur road reconstruction. Several Class I streams, including the North and South Forks of Big Creek and an unnamed tributary, as well as several more Class II streams all flow through this proposed sale area.

2	<b>West Shanghai Cedar</b> (Dual Entry)	NWNE	7	37N/6E	82	4,005 MBF
		Pts. E2SE	12	37N/5E		

Estimated Auction: Fall 2020

This sale is located approximately 5.0 air miles northeast of Pierce, Idaho in the Little Beaver Creek drainage. A seed tree silvicultural prescription will be utilized. Both tractor and cable yarding systems will be required. Development work includes approximately 0.49 mile of new spur road construction and 1.5 miles of spur road reconstruction. Several Class II streams flow through this proposed sale area.

3	<b>Trapper Shelter</b>	Pts. SWNW	15	38N/6E	245	8,225 MBF
		Pts. S2NE, SWSW, E2SW, SE	16	38N/6E		

Estimated Auction: Spring 2021

This sale is located 5.0 air miles east of Headquarters, Idaho in the Washington Creek drainage. The silvicultural prescription for the sale area is a shelterwood harvest. Tractor and cable yarding will be required on this sale. Development work includes approximately 3.5 miles of new spur road construction. Several Class I streams, Class II streams, and draws are within the sale boundary.

# IDAHO DEPARTMENT OF LANDS FY21 TIMBER SALE PLAN

July 1, 2020 – June 30, 2021

Clearwater  
Supervisory Area

SALE NO.	SALE NAME	SUBDIVISION	SEC	T & R	APPROXIMATE ACREAGE	VOLUME
4	<b>True North Cedar</b> (Dual Entry)	Pts. SESE	8	40N/5E	130	5,730 MBF
		Pts. NESW, Pts. S2SW	9	40N/5E		3,520 Poles
		Pts. W2SE	9	40N/5E		
		Pts. NWNE, Pts. N2NW	16	40N/5E		
		Pts. NENE	17	40N/5E		

Estimated Auction: Summer 2020

This sale is located approximately 13.0 air miles north of Headquarters, Idaho in the North Fork of Benton Creek drainage. This sale will be harvested using a seed tree silvicultural prescription. Both tractor and cable yarding systems will be required. Development work includes approximately 0.95 mile of new spur road construction, 7.89 miles of secondary road opening, and 1.40 miles of spur road opening. Several Class II streams flow through and are adjacent to this proposed sale area.

5	<b>Casey OSR</b>	Pts. Govt. Lot 2	6	38N/5E	315	1,700 MBF
		Pts. SWNE, Pts. Govt. Lot 2	31	39N/5E		
		Pts. SENW, Pts. Govt. Lots 3-4	31	39N/5E		
		Pts. E2SW, Pts. SE	31	39N/5E		
		Pts. E2SE	36	38N/4E		

Estimated Auction: Spring 2021

This sale is located 3.0 air miles northwest of Headquarters, Idaho in the Casey Creek drainage. The silvicultural prescription for the sale area is overstory removal harvest. Tractor and cable yarding will be required on this sale. Development work includes approximately 9.65 miles of spur road opening. Several Class II streams and draws are within the sale boundary.

6	<b>Faerbers Cedar</b> (Single Entry)	W2NE	22	36N/3E	68	555 MBF
		NESW	22	36N/3E		600 Poles

Estimated Auction: Spring 2020

This sale is located 13.0 air miles southeast of Orofino, Idaho in the Cook Creek drainage. The silvicultural prescription for the sale includes two units of overstory removal. One overstory removal unit is a failed seed tree of approximately 37 acres. Tractor yarding will be required on this sale. Development work includes approximately 0.97 mile of spur road opening. Class II streams and draws are located within the sale boundary.

7	<b>Porters I</b>	E2SESW	36	37N/4E	156	4,445 MBF
		NWNESE, S2NESE	36	37N/4E		
		NENWSE, S2NWSE	36	37N/4E		
		S2SE	36	37N/4E		

Estimated Auction: Spring 2021

This sale is located 4.0 air miles northwest of Pierce, Idaho in the Orofino Creek drainage. The silvicultural prescription for the sale area includes two units of seed tree harvests. Tractor and cable yarding will be required on this sale. Development work includes approximately 0.79 mile of spur road reconstruction and approximately 1.17 miles of spur road new construction. Several Class II streams and draws are within the sale boundary.

# IDAHO DEPARTMENT OF LANDS FY21 TIMBER SALE PLAN

July 1, 2020 – June 30, 2021

Clearwater  
Supervisory Area

SALE NO.	SALE NAME	SUBDIVISION	SEC	T & R	APPROXIMATE ACREAGE	VOLUME
8	<b>Ceady OSR</b>	Pts. Govt. Lots 1-4, Pts. SWNE	2	38N/2E	449	4,150 MBF
		Pts. S2NW	2	38N/2E		
		Govt. Lots 1-3, Pts. S2NE	3	38N/2E		
		Pts. Govt. Lot 4, Pts. S2NW	3	38N/2E		
		Pts. N2S2	3	38N/2E		

Estimated Auction: Spring 2021

This sale is located 3.0 air miles north of Dent, Idaho in the Cedar Creek drainage. The silvicultural prescription for the sale area is an overstory removal. Both tractor and cable yarding methods will be required on this sale. Development work includes approximately 6.8 miles of spur road opening. Class I and II streams and draws are within the sale boundary.

9	<b>Hodson Point OSR</b>	Pts. NWSE	24	38N/3E	290	1,375 MBF
		Pts. NWNE, Pts. SESW	26	38N/3E		
		Pts. SWSE	27	38N/3E		
		Pts. NE, Pts. E2NW	34	38N/3E		

Estimated Auction: Summer 2020

This sale is located approximately 18.0 air miles northeast of Orofino, Idaho in the West Fork of Hodson Creek drainage. The silvicultural prescription for the entire sale area is an overstory removal. Tractor and cable yarding methods will be required on this sale. Development work includes 3.22 miles of existing spur road opening. Several Class II streams and several unnamed tributaries are within the sale area, all of which drain into Dworshak Reservoir.

10	<b>Baldy Bear Cedar</b> (Dual Entry)	Pts. NESE, S2SE	9	38N/2E	279	7,570 MBF 2,290 Poles
		Pts. SW, Pts. SWSE	10	38N/2E		
		Pts. W2NE, N2NW, SENW	15	38N/2E		
		Pts. NENE	16	38N/2E		

Estimated Auction: Fall 2020

This sale is located 2.0 air miles north of Dent, Idaho in the Camp Y drainage. The silvicultural prescription for the sale area is a seed tree harvest. Tractor yarding will be required on this sale. Development work includes approximately 2.0 miles of spur road new construction, 1.0 mile of spur road reconstruction and 2.0 miles of spur road opening. Several Class II streams and draws are within the sale boundary.

<b>Additional small volume sales:</b>	400	905 MBF
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<b>TOTALS:</b>	2,693	50,000 MBF 9,010 Poles
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# IDAHO DEPARTMENT OF LANDS FY21 TIMBER SALE PLAN

July 1, 2020 – June 30, 2021

Ponderosa  
Supervisory Area

SALE NO.	SALE NAME	SUBDIVISION	SEC	T & R	APPROXIMATE	
					ACREAGE	VOLUME
1	<b>3 Bear Cedar</b> (Dual Entry)	Pts. W2NE, Pts. NW, Pts. SW	17	39N/1E	203	8,975 MBF
		Pts. NESE	18	39N/1E		5,500 Poles

Estimated Auction: Summer 2020

This sale is located approximately 7.0 air miles southeast of Helmer, Idaho in the Long Meadow Creek and Chambers Creek drainages. This sale will be harvested utilizing a seed tree silvicultural prescription. Ground-based and cable yarding methods are required for this sale. Developments include approximately 4.37 miles of spur road new construction, 2.60 miles of spur road reconstruction, and 1.47 miles of spur road opening. There are several Class II streams within and adjacent to the sale area, all of which are tributaries to Dworshak Reservoir.

2	<b>Middle Man</b>	Pts. NE	21	41N/1W	415	3,500 MBF
		Pts. NW	22	41N/1W		
		Pts. NWSW	25	41N/1W		
		Pts. S2NE, Pts. S2NW, Pts. N2SW	26	41N/1W		
		Pts. N2SE, Pts. SWSW	26	41N/1W		
		Pts. Govt. Lot 8	34	41N/1W		
		Pts. S2NE, Pts. SW, Pts. N2SE	35	41N/1W		
		Pts. SESE	35	41N/1W		
		Pts. W2SW	36	41N/1W		

Estimated Auction: Summer 2020

This sale is located approximately 2.0 air miles west of Bovill, Idaho in the Moose Creek drainage. This sale will be harvested utilizing overstory removal and clearcut silvicultural prescriptions. Ground-based and cable yarding methods will be required for this sale. Developments include approximately 0.62 mile of new spur road construction, 2.83 miles of spur road opening and 1.74 miles of spur road reconstruction. The sale is adjacent to Class I streams and there are several intermittent Class II streams within the sale area, all of which are tributaries to Moose Creek and the Moose Creek Reservoir.

3	<b>Cloverfield</b>	NWSW	1	39N/1E	355	8,125 MBF
		Govt. Lot 1	2	39N/1E		
		Pts. Govt. Lot 2, Pts. S2NW, Pts. SW	4	39N/2E		
		Pts. Govt. Lot 1, SENE, Pts. E2SE	5	39N/2E		
		NWNE, SENE	7	40N/2E		

Estimated Auction: Summer 2020

This sale is located approximately 4.0 air miles northwest and 6.0 air miles southwest of Elk River, Idaho in the Seastem Creek, Cameron Creek, Cloverleaf Creek, and Butterfield Creek drainages. This sale will be harvested utilizing seed tree, overstory removal, and clearcut silvicultural prescriptions. Ground-based and cable yarding methods are required for this sale. Developments include approximately 2.0 miles of spur road new construction, 0.5 mile of spur road reconstruction, and 8.0 miles of spur road opening. The sale has several Class II streams within and adjacent to the sale area, all of which are tributaries to Dworshak Reservoir.

# IDAHO DEPARTMENT OF LANDS FY21 TIMBER SALE PLAN

July 1, 2020 – June 30, 2021

Ponderosa  
Supervisory Area

SALE NO.	SALE NAME	SUBDIVISION	SEC	T & R	APPROXIMATE	
					ACREAGE	VOLUME
<b>4</b>	<b>Brush OSR</b>	Pts. S2SW, Pts. SWSE	2	40N/2W	534	5,635 MBF
		Pts. SENE	10	40N/2W		
		Pts. Govt. Lot 1, Pts. N2NE	11	40N/2W		
		Pts. SENE, Pts. NW, Pts. NESW	11	40N/2W		
		Pts. NESE	11	40N/2W		
		Pts. S2NW, Pts. SW, Pts. W2SE	12	40N/2W		
		Pts. NWNE, Pts. NW, Pts. NESW	13	40N/2W		
		Pts. SESW, Pts. S2SE	9	41N/2W		
		Pts. W2NW	15	41N/2W		
		Pts. NE, Pts. NENW	16	41N/2W		
		Pts. NE, Pts. E2NW, Pts. NESW	21	41N/2W		
		Pts. N2SE, Pts. SWSE	21	41N/2W		
		Pts. SE	33	41N/2W		

Estimated Auction: Summer 2020

This sale is located approximately 7.0 air miles north and 1.0 air mile northeast of Deary, Idaho in the Little Sand Creek, Schwartz Creek, Corral Creek, Barn Creek, and Brush Creek drainages. This sale will be harvested utilizing overstory removal and clearcut silvicultural prescriptions. Ground-based and cable yarding methods are required for this sale. Developments include approximately 1.0 mile of spur road new construction, 0.5 mile of spur road reconstruction, and 17.5 miles of spur road opening. The sale is adjacent to the Little Sand and Brush Creek Class I streams. Little Sand Creek is a tributary to the Palouse River, and Brush Creek is a tributary to the Potlatch River. The sale also has several Class II streams within and adjacent to the sale area, all of which are tributaries to the Palouse and Potlatch Rivers.

<b>5</b>	<b>Lower Falls Cedar</b> (Single Entry)	Pts. E2NW, Pts. NESW	24	39N/3E	121	5,665 MBF 3,000 Poles
		Pts. SESE	31	39N/3E		
		Pts. NESW, S2SW, NWSE, S2SE	32	39N/3E		

Estimated Auction: Summer 2020

This sale is located approximately 8.0 air miles southeast of Elk River, Idaho in the Falls Creek, Cranberry Creek, and Baldy Bear Creek drainages. This sale will be harvested utilizing clearcut silvicultural prescriptions. Helicopter, ground-based and cable yarding methods are required for this sale. Developments include approximately 1.38 miles of spur road new construction, 1.11 miles of spur roads reconstruction, 8.06 miles of spur road opening, and 1.67 miles of spur road surfacing. The sale is adjacent to Class I streams and there are several intermittent Class II streams within the sale area, all of which are tributaries to Dworshak Reservoir.

# IDAHO DEPARTMENT OF LANDS FY21 TIMBER SALE PLAN

July 1, 2020 – June 30, 2021

## Ponderosa Supervisory Area

SALE NO.	SALE NAME	SUBDIVISION	SEC	T & R	APPROXIMATE	
					ACREAGE	VOLUME
6	<b>Jacksons Ally</b>	Pts. Govt. Lot 4	3	40N/1E	340	8,000 MBF
		Pts Govt. Lots 1-3, Pts. S2N2	4	40N/1E		
		Pts. SW, Pts. W2SE, Pts. SESE	4	40N/1E		
		Pts. N2N2	9	40N/1E		
		Pts. W2NW	10	40N/1E		
		Pts. SENE, Pts. NESE	35	41N/1E		
		Pts. NWSW	36	41N/1E		

Estimated Auction: Spring 2020

This sale is located approximately 4.0 air miles east of Bovill, Idaho in the Jackson and Bloom Creek drainages. This sale will be harvested utilizing clearcut, shelterwood and overstory removal silvicultural prescriptions. Cable based and ground yarding methods are required for this sale. Developments include approximately 5.0 miles of spur road new construction, 4.0 miles of spur road reconstruction, and 7.0 miles of spur road opening. The sale is adjacent to Class I streams and has Class II streams within and adjacent to the sale area, all of which are tributaries to the East Fork of the Potlatch River.

**Additional small volume sales:**

50 100 MBF

**TOTALS:** 2,018 40,000 MBF  
8,500 Poles

IDAHO DEPARTMENT OF LANDS

# IDAHO DEPARTMENT OF LANDS FY21 TIMBER SALE PLAN

July 1, 2020 – June 30, 2021

Maggie Creek  
Supervisory Area

SALE NO.	SALE NAME	SUBDIVISION	SEC	T & R	APPROXIMATE ACREAGE	VOLUME
1	<b>Golden Glen</b>	Pts. NESW, Pts. S2SW	11	34N/5E	220	5,055 MBF
		Pts. W2NE, Pts. NW	14	34N/5E		
		Pts. W2SW, Pts. SWSE	14	34N/5E		
		Pts. SESW	14	34N/5E		
		Pts. SWSE	15	34N/5E		
		Pts. NWNW	23	34N/5E		

Estimated Auction: Spring 2021

This sale is located approximately 10.0 miles northeast of Kooskia, Idaho in the North Fork of Maggie Creek and Maggie Creek drainages. Seed tree and overstory removal silvicultural prescriptions will be utilized. Harvesting operations will be accomplished using ground-based and cable yarding systems. Spur road developments include approximately 2.60 miles of road reconstruction and 1.40 miles of road opening. There are no Class I streams adjacent or in the sale area. There are five Class II streams in the sale area.

2	<b>Glenwood 120 Cedar</b> (Single Entry)	Pts. S2SE Pts. NENE	21 28	34N/5E 34N/5E	113	3,215 MBF 1,300 Poles
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Estimated Auction: Summer 2020

This sale is located approximately 10.0 miles east of Kamiah, Idaho in the Lolo Creek drainage. A seed tree silvicultural prescription will be utilized. Harvesting operations will be accomplished using ground-based and cable yarding systems. Spur road development work includes approximately 1.4 miles of new road construction and 0.5 mile of road reconstruction. There are no Class I streams adjacent or in the sale area, and there is one Class II stream in the sale area.

3	<b>Dream Weaver</b>	Pts. SW Pts. W2SE Pts. S2NW Pts. SWNE	36 36 36 36	36N/5E 36N/5E 36N/5E 36N/5E	189	4,050 MBF
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Estimated Auction: Fall 2020

This sale is located approximately 8.0 miles northeast of Weippe, Idaho in the Brown Creek and Weaver Creek drainages. One seed tree silvicultural prescription will be utilized. Harvesting operations will be accomplished using ground-based systems. Proposed spur road development includes approximately 3.5 miles of new construction and 0.75 mile of reconstruction. Four Class II intermittent streams are present within the sale area with one Class I stream adjacent to the sale area.

# IDAHO DEPARTMENT OF LANDS FY21 TIMBER SALE PLAN

July 1, 2020 – June 30, 2021

Maggie Creek  
Supervisory Area

SALE NO.	SALE NAME	SUBDIVISION	SEC	T & R	APPROXIMATE ACREAGE	VOLUME
4	Swamp Engraver	Pts. Govt. Lots 3 & 4, Pts. S2NW	1	34N/4E	376	5,500 MBF
		Pts. N2SW	1	34N/4E		
		Pts. Govt. Lots 1 & 2, Pts. SENE	2	34N/4E		
		Pts. NESE	2	34N/4E		
		Pts. E2SW, Pts. NESE	35	35N/4E		
		Pts. S2SE	35	35N/4E		
		Pts. W2SW, Pts. SESW	36	35N/4E		

Estimated Auction: Spring 2021

This sale is located approximately 3.5 miles south of Weippe, Idaho in the Wilson Creek drainage. A shelterwood silvicultural prescription will be utilized. Harvesting will be accomplished using ground-based yarding methods. Spur road developments include approximately 2.8 miles of reconstruction and 2.0 miles of opening. Three Class II intermittent streams are present within the sale area.

5	Fidlers Stash	Pts. S2S2, Pts. NESE	28	35N/4E	212	3,080 MBF
		Pts. NE, Pts. E2NW, Pts. N2SE	33	35N/4E		

Estimated Auction: Summer 2020

This sale is located approximately 3.0 miles southwest of Weippe, Idaho in the Incendiary Creek drainage and in the drainage of an unnamed Class II tributary of Lolo Creek. Clearcut, shelterwood and overstory removal silvicultural prescriptions will be utilized. Harvesting will be accomplished using ground-based yarding methods. Spur road developments include approximately 0.65 mile of new construction, 1.3 miles of reconstruction, and 1.0 mile of opening. Two Class II intermittent streams exist within the sale area.

6	Fidlers Bane Pulp	Pts. NESE, Pts. W2SE, Pts. SW	16	35N/4E	339	2,975 MBF 1,120 Pulp
		Pts. SE	17	35N/4E		
		Pts. NENE	20	35N/4E		
		Pts. NW, Pts. NWNE	21	35N/4E		

Estimated Auction: Summer 2020

This sale is located approximately 1.5 miles west of Weippe, Idaho in the Schmidt Creek drainage. Overstory removal and clearcut silvicultural prescriptions will be utilized. Harvesting will be accomplished using ground-based yarding methods. Spur road developments include approximately 0.33 mile of new construction, 0.94 mile of reconstruction and 3.5 miles of opening. One Class II intermittent stream exists immediately adjacent to the northwest portion of the sale area.

**Additional small volume sales:** 0 125 MBF

**TOTALS:** 1,449 24,000 MBF  
1,120 Pulp  
1,300 Poles

# IDAHO DEPARTMENT OF LANDS FY21 TIMBER SALE PLAN

July 1, 2020 – June 30, 2021

Payette Lakes  
Supervisory Area

SALE NO.	SALE NAME	SUBDIVISION	SEC	T & R	APPROXIMATE ACREAGE	VOLUME
1	<b>Skyhigh Ton</b>	Pts.	2	14N/4E	183	12,000 Tons (2,120 MBF)
		Pts.	3	14N/4E		
		Pts.	10	14N/4E		
		Pts.	11	14N/4E		

Estimated Auction: Summer 2020

This sale is located about 7.0 air miles northeast of Cascade, Idaho in the Beaver Creek drainage. This sale will utilize a seed tree silvicultural prescription. Ground-based and cable yarding methods will be utilized. Developments include approximately 9.8 miles of spur road opening and 5.3 miles of secondary road opening. All streams in the sale area are Class II.

2	<b>Park West Ton</b>	Pts.	25	17N/3E	252	15,480 Tons (2,735 MBF)
		Pts.	26	17N/3E		
		Pts.	35	17N/3E		
		Pts.	36	17N/3E		

Estimated Auction: Fall 2020

This sale is located about 9.0 air miles northwest from Council, Idaho in the Johnson Creek drainage. This sale will utilize a seed tree silvicultural prescription. Tractor/jammer yarding systems will be utilized. Developments include approximately 1.0 mile of spur road new construction, 4.0 miles of spur road opening and 1.3 miles of main road opening. Class I and Class II are located within the sale area.

3	<b>Boulder Cop Ton</b>	Pts.	20	18N/4E	559	38,205 Tons (6,750 MBF)
		Pts.	21	18N/4E		
		Pts.	28	18N/4E		
		Pts.	29	18N/4E		
		Pts.	33	18N/4E		

Estimated Auction: Fall 2020

This sale is located about 6.0 air miles southeast of McCall, Idaho in the Boulder Creek drainage. Seed tree, shelterwood, and clearcut silvicultural prescriptions will be utilized. The clearcuts total 108 acres in two units of 30 acres and 78 acres. Tractor/jammer yarding methods will be utilized. Developments include approximately 4.52 miles of secondary road opening, 9.10 miles of secondary road reconstruction and 0.79 mile of secondary road new construction. All streams in the sale area are Class II.

4	<b>Rocky B Ton</b>	Govt. Lots 2 & 3	3	14N/4E	231	13,244 Tons (2,340 MBF)
		Pts.	34	15N/4E		

Estimated Auction: Spring 2021

This sale is located about 10.0 air miles northeast of Cascade, Idaho in the Beaver Creek drainage. Seed tree and overstory removal silvicultural prescriptions will be utilized. Tractor/jammer and cable yarding methods will be utilized. Developments include approximately 1.0 mile of new spur road construction, 2.5 miles of spur road reconstruction, 0.5 mile of spur road opening, and 10.0 miles of secondary road opening. All streams within the sale area are Class II.

# IDAHO DEPARTMENT OF LANDS FY21 TIMBER SALE PLAN

July 1, 2020 – June 30, 2021

Payette Lakes  
Supervisory Area

SALE NO.	SALE NAME	SUBDIVISION	SEC	T & R	APPROXIMATE ACREAGE	VOLUME
5	Two Face Ton	Pts.	9	14N/4E	475	13,329 Tons
		Pts.	10	14N/4E		(2,355 MBF)
		Pts.	15	14N/4E		
		Pts.	16	14N/4E		
		Pts.	21	14N/4E		
		Pts.	22	14N/4E		

Estimated Auction: Spring 2021

This sale is located about 5.0 air miles northeast of Cascade, Idaho in the Beaver Creek and Pearsol Creek drainages. A seed tree silvicultural prescription will be utilized. Tractor/jammer and cable yarding methods will be utilized. Developments include approximately 7.6 miles of spur road opening, 5.0 miles of new spur road construction and 0.5 mile of spur road reconstruction. All streams in the sale area are Class II.

6	Hardball Ton	Pts.	36	21N/1E	240	28,200 Tons (4,700 MBF)
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Estimated Auction: Spring 2021

This sale is located about 12.0 air miles northeast of New Meadows, Idaho in the Little Salmon river drainage. Seed tree and clearcut silvicultural prescriptions will be utilized. The clearcut is approximately 40 acres. Both tractor and cable yarding methods will be utilized. Developments include approximately 4.94 miles of spur road opening, approximately 0.90 mile of spur road reconstruction, and approximately 2.75 miles of spur road new construction. All streams in the sale area are Class II.

Additional small volume sales:	0	0 Tons 0 (MBF)
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**TOTALS:** 1,940 120,458 Tons  
(21,000 MBF)



# IDAHO DEPARTMENT OF LANDS FY21 TIMBER SALE PLAN

July 1, 2020 – June 30, 2021

Southwest  
Supervisory Area

SALE NO.	SALE NAME	SUBDIVISION	SEC	T & R	APPROXIMATE	
					ACREAGE	VOLUME
1	<b>Packer Salvage</b>	Pts.	2	10N/3E	1,770	12,000 MBF
		Pts.	3	10N/3E		
		Pts.	10	10N/3E		
		Pts.	11	10N/3E		
		Pts.	13	10N/3E		
		Pts.	14	10N/3E		
		Pts.	15	10N/3E		
		Pts.	16	10N/3E		
		Pts.	21	10N/3E		
		Pts.	22	10N/3E		
		Pts.	23	10N/3E		
		Pts.	24	10N/3E		
		Pts.	27	10N/3E		
		Pts.	28	10N/3E		
		Pts.	36	11N/3E		

Estimated Auction: Summer 2020

This salvage sale is located approximately 7.0 air miles south of Smiths Ferry, Idaho in the headwaters of Howell Creek, Scriver Creek, Murray Creek, and unnamed tributaries in the North Fork Payette River drainages. Silvicultural prescription is to salvage harvest tree species defoliated by a 2018 – 2019 Douglas-fir tussock moth outbreak. Salvage harvesting will create approximately 1,120 acres of clearcut and 650 acres of seed tree. Clearcut unit sizes are 139, 212, 327 and 442 acres respectively. This salvage sale was unforeseen and therefore, has not been previously available for public comment through the Idaho Department of Lands, "Notice of Proposed Sales" process. Tractor and cable yarding harvest systems are required. Approximately 3.0 miles of new spur road construction, 10.0 miles of spur road reconstruction, and 20.0 miles of spur road opening will be required. Class II streams are present within the sale area.

Additional small volume sales:

0 0 MBF

**TOTALS:** 1,770 12,000 MBF

# IDAHO DEPARTMENT OF LANDS FY21 TIMBER SALE PLAN

July 1, 2020 – June 30, 2021

Eastern  
Supervisory Area

SALE NO.	SALE NAME	SUBDIVISION	SEC	T & R	APPROXIMATE ACREAGE	VOLUME
1	Clear Creek Ton	Pts. SWNW Pts. S2NE, Pts. S2	31 36	4N/18E 4N/17E	200	6,750 Tons (1,000 MBF)

Estimated Auction: Spring 2021

This sale is located 1.0 air mile southwest of Ketchum, Idaho. This sale is in the Clear Creek drainage and flows into Comstock Ditch. Silvicultural prescription will be a shelterwood treatment. Tractor skidding will be utilized. Approximately 1.5 miles of new spur road will be constructed. There are no Class I or Class II streams within the sale area.

2	Blackfoot Mtns. OSR Ton	Pts. S2 Pts. SWSW Pts. S2NW, Pts. S2 Pts. N2 Pts. NENE Pts. All Pts. W2W2 Pts. NW, Pts. NWSE, Pts. SESE	22 25 26 27 28 35 36 1	2S/39E 2S/39E 2S/39E 2S/39E 2S/39E 2S/39E 2S/39E 3S/39E	550	27,000 Tons (4,000 MBF)
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Estimated Auction: Spring 2021

This sale is located 6.0 air miles southwest of Bone, Idaho. This sale is in the Mill Creek drainage and flows into Willow Creek. Silvicultural prescription will be an overstory removal treatment. Tractor skidding will be utilized. Approximately 2.5 miles of spur road will be opened. There are no Class I or Class II streams within the sale area.

Additional small volume sales:

0 0 MBF

**TOTALS:** 750 33,750 Tons  
(5,000 MBF)

**DIRECTOR'S OFFICE**  
300 N. 6th Street Suite 103  
PO Box 83720  
Boise, ID 83720-0050  
Phone (208) 334-0200  
Fax (208) 334-5342



**STATE BOARD OF LAND COMMISSIONERS**  
*Brad Little, Governor*  
*Lawrence E. Denney, Secretary of State*  
*Lawrence G. Wasden, Attorney General*  
*Brandon D Woolf, State Controller*  
*Sherri Ybarra, Sup't of Public Instruction*

April 22, 2020

Ed Schriever, Director  
Idaho Department of Fish & Game  
600 S Walnut Street  
PO Box 25  
Boise ID 83707

via e-mail: [ed.schriever@idfg.idaho.gov](mailto:ed.schriever@idfg.idaho.gov)

Re: Department of Lands FY21 Timber Sales Plan

Dear Ed:

The Department of Lands Timber Sales Plan for fiscal year 2021 is now available for your review on the Idaho Department of Lands timber sale website at:

<http://web.idl.idaho.gov/timbersale/Search.aspx>

If any sales on the proposed sales plan are of particular interest to you, please contact the appropriate Idaho Department of Lands Supervisory Area for information. Please advise me if you have any comments. Thank you.

Sincerely,

Dustin T. Miller  
Director

**DIRECTOR'S OFFICE**  
300 N. 6th Street Suite 103  
PO Box 83720  
Boise, ID 83720-0050  
Phone (208) 334-0200  
Fax (208) 334-5342



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*Brandon D Woolf, State Controller*  
*Sherri Ybarra, Sup't of Public Instruction*

April 22, 2020

Gary Spackman, Director  
Idaho Department of Water Resources  
322 East Front Street  
PO Box 83720  
Boise ID 83720-0098

via e-mail: [gary.spackman@idwr.idaho.gov](mailto:gary.spackman@idwr.idaho.gov)

Re: Department of Lands FY21 Timber Sales Plan

Dear Gary:

In accordance with Section 58-404, Idaho Code, please consider this letter notification that the Department of Lands Timber Sales Plan for fiscal year 2021 is available for your review on the Idaho Department of Lands (IDL) timber sale website:

<http://web.idl.idaho.gov/timbersale/Search.aspx>

Please advise whether, from the standpoint of water conservation, you have any objections to the timber being sold as proposed. All work will be completed in accordance with the Idaho Forest Practices Act, the Stream Channel Protection Act and the IDWR/IDL Memorandum of Understanding dated November 7, 2007. Thank you for your attention to this matter.

Sincerely,

Dustin T. Miller  
Director

**DIRECTOR'S OFFICE**  
300 N. 6th Street Suite 103  
PO Box 83720  
Boise, ID 83720-0050  
Phone (208) 334-0200  
Fax (208) 334-5342



**STATE BOARD OF LAND COMMISSIONERS**  
Brad Little, Governor  
Lawrence E. Denney, Secretary of State  
Lawrence G. Wasden, Attorney General  
Brandon D Woolf, State Controller  
Sherri Ybarra, Sup't of Public Instruction

April 22, 2020

Janet Gallimore, Executive Director  
Idaho State Historical Society  
2205 Old Penitentiary Road  
Boise ID 83712-8250

via e-mail: [janet.gallimore@ishs.idaho.gov](mailto:janet.gallimore@ishs.idaho.gov)

Re: Department of Lands FY21 Timber Sales Plan

Dear Janet:

The Department of Lands Timber Sales Plan for fiscal year 2021 is now available for your review on the Idaho Department of Lands (IDL) timber sale website:

<http://web.idl.idaho.gov/timbersale/Search.aspx>

Our timber sales staff has previously notified your office of the location of these sales during the public advertisement and review process. Individual sale maps will be posted to the IDL timber sale website as they are prepared.

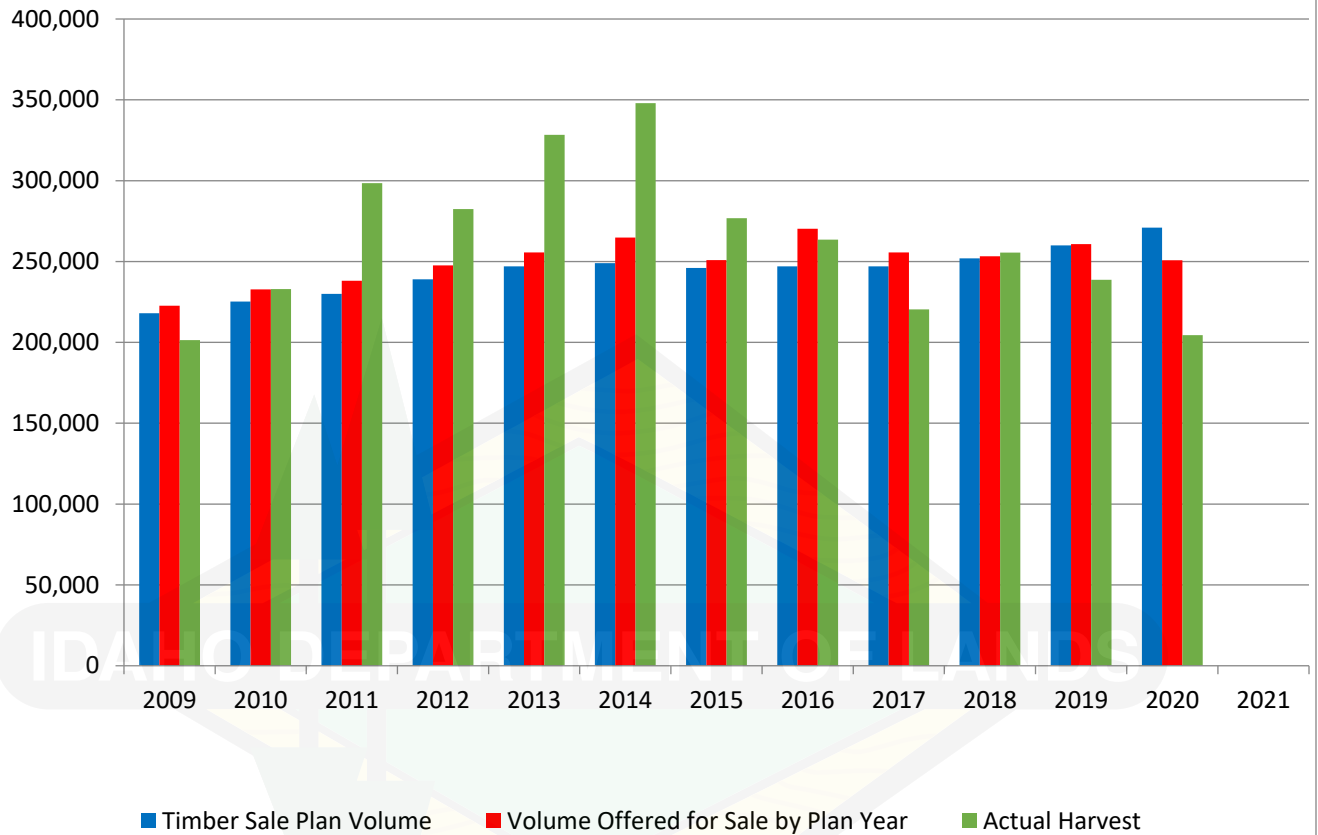
Sincerely,

Dustin T. Miller  
Director

# IDL Timber Sale Plan Performance

FY 2008-2010 Sawlog Volume Only  
FY 2011-2019 Sawlog plus Pole Volume

FY20 results through  
April 6, 2020







3759 Highway 6 P.O. Box 130 Princeton, ID 83857

Phone: (208) 875-1121

Fax: (208) 875-0191

April 1, 2020

Tony Brede  
Timber Sale Program Manager  
Idaho Department of Lands  
3284 West Industrial Loop  
Coeur d' Alene, ID 83544

Tony,

Bennett Lumber Products Inc. has reviewed and strongly supports the 2021 Proposed IDL Timber Sale Plan. Bennett Lumber directly employs over 160 employees and also contracts numerous logging, construction and trucking firms. Like other sawmills in the area, Bennett Lumber is an important part of the local economy and tax base.

A large portion of the sawlog volume brought into our facility each year originates from Idaho Department of Lands Timber Sales. The IDL Timber Sale Program is a critical component of Bennett Lumber's supply base and long term viability. We appreciate the efforts of the Idaho Department of Lands in supplying raw materials to the timber industry and the resulting support of our schools and other endowments.

Sincerely,

Tom Biltonen  
Resource Manager  
Bennett Lumber Products Inc.

**From:** [Tony Brede](#)  
**To:** [Beth Rheinschmidt](#)  
**Subject:** FW: FY 21 Timber Sales Plan  
**Date:** Wednesday, April 08, 2020 7:17:27 AM  
**Attachments:** [image001.png](#)

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fyi

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**From:** evergreenforest@frontiernet.net <evergreenforest@frontiernet.net>  
**Sent:** Wednesday, April 08, 2020 7:16 AM  
**To:** Tony Brede <TBrede@idl.idaho.gov>  
**Subject:** RE: FY 21 Timber Sales Plan

Hello Tony,

We have looked at your proposed 2021 plan and support it fully. IDL timber sales are very important to Evergreen Forest and we appreciate all the work you and the foresters do in getting these sales put up. Without these IDL sales it would be difficult for Evergreen to get enough logs to operate.

There are also many other benefits for having well managed forests. Keep up the good work.

Sincerely,



**Jim Wassmuth**

Resource Manager

**Evergreen Forest / Tamarack Mill, LLC**

208-347-2111 ext 232

---

**From:** Tony Brede <[TBrede@idl.idaho.gov](mailto:TBrede@idl.idaho.gov)>  
**Sent:** Monday, April 6, 2020 11:40 AM  
**To:** [greg@empirelumber.com](mailto:greg@empirelumber.com); [tdougherty@idfg.com](mailto:tdougherty@idfg.com); [mreggear@idfg.com](mailto:mreggear@idfg.com); [abharper@idfg.com](mailto:abharper@idfg.com); [jeff.lane@potlatchdeltic.com](mailto:jeff.lane@potlatchdeltic.com); [dbrummer@stimsonlumber.com](mailto:dbrummer@stimsonlumber.com); [evergreenforest@frontiernet.net](mailto:evergreenforest@frontiernet.net); [bjanoski@vaagenbros.com](mailto:bjanoski@vaagenbros.com); [rvandenburg@woodgrain.com](mailto:rvandenburg@woodgrain.com); [ahenson@stella-jones.com](mailto:ahenson@stella-jones.com); [robert.kennedy@clearwaterpaper.com](mailto:robert.kennedy@clearwaterpaper.com)  
**Cc:** Beth Rheinschmidt <[brheinschmidt@idl.idaho.gov](mailto:brheinschmidt@idl.idaho.gov)>; Jim Elbin <[jelbin@idl.idaho.gov](mailto:jelbin@idl.idaho.gov)>  
**Subject:** FY 21 Timber Sales Plan

April 6, 2020

Idaho Forest Products Industry:

The Idaho Department of Lands' fiscal year (FY) 2021 [proposed timber sale plan](#) has been posted on the department's timber sale website. The plan will be presented to the Idaho State Board of Land Commissioners for their approval at the April 21 meeting.

If you would like to comment or express your opinion regarding the fiscal year 2021 sale plan, please send, preferably via email, a signed copy of your comments to:

Tony Brede  
[tbrede@idl.idaho.gov](mailto:tbrede@idl.idaho.gov)

You may address your comments to Dustin T. Miller, IDL Director, or to Tony Brede, Timber Sale Program Manager. If you prefer to send comments to the Director, please copy me so that all written comments are included in the package submitted to the Land Board. All comments will be forwarded to the Director and included in the FY 2021 timber sale plan package submitted to the Land Board.

Public comments to the IDL Timber Sale Plan are not always positive so supportive comments are always appreciated.

Sincerely,

Tony Brede  
Timber Sale Program Manager  
Idaho Department of Lands  
3284 West Industrial Loop  
Coeur d'Alene, ID 83815  
(208) 666-8609

IDAHO DEPARTMENT OF LANDS



April 7, 2020

P.O. Box 108

MOYIE SPRINGS, ID 83845

IDAHOFORESTGROUP.COM

208.267.3166

Tony Brede  
Timber Sale Program Manager  
Idaho Dept. of Lands  
3284 W. Industrial Loop  
Coeur d' Alene, ID.  
83815

Re: Idaho Dept. of Lands Fiscal Year 2021 Timber Sale Program

Dear Tony,

On behalf of Idaho Forest Group, I offer the following comments to the proposed FY '21 IDL timber sale program:

IFG Timber and Idaho Forest Group are currently the largest holder of IDL timber sale contracts. We continue to count on the success of the IDL timber sale program to fulfill a large portion of our agency timber portfolio. The Idaho Dept. of Lands continues to manage their timber lands in an efficient and cost effective manner generating necessary income to fund Idaho's school endowment. The agency also manages their timber lands for the improvement of forest health, growth and yield. We continue to view our relationship with The Idaho Dept. of Land's as a symbiotic one: one of mutual respect for both the moneys we bid and the services we and our contractors provide. We continue to wish your federal counter-parts would follow your efficiency for getting projects implemented and completed. While realizing the different processes that each agency utilizes in project implementation, your methodologies can be a model for others to follow.

In looking at the 5 Northern Supervisory areas: Priest Lake, Pend Oreille, Mica, Ponderosa and St. Joe, it is gratifying to see that the sale volume and targets set are increasing in both pace and scale compared to just last year let alone 3 or more years ago. The target for the F.Y. '21 program for these supervisory areas appears to be approx.. 10.00 MMBF higher than last year with the only down-fall being the Ponderosa unit. This is outstanding and why Idaho Forest Group continues to support and applaud the IDL for their efforts towards healthier and resilient forests in Idaho. For the 4 Southern regions in which we continue to be competitive bidders: Clearwater, Maggie Ck., Southwest and Payette Lakes, planned sell targets have increased by approx.. 10% over last year. Again Tony, outstanding work.

Our lumber producing infrastructure as well as the timber harvesting and hauling infra-structure depend on these vital and predictable harvest levels to maintain viability AND to make economic investments for the future. There are many who depend on your timber for their success and at Idaho Forest Group, we continue to offer any assistance to the IDL for it's continued successful program.

We realize that timber harvest may be contentious at times given the many uses and benefits derived from endowment lands. However, the IDL, it's forestry and support staff have a proven record of designing solid projects that can be implemented in an efficient manner with little or no impedance to those other uses and benefits. That is why we continue to strive for professionalism in our road building, logging, hauling, slash disposal and road maintenance contractors to execute IDL contracts in a timely, orderly and professional manner. We feel that our relationship with the IDL continues to be paramount in our mutual success which can be measured by a high level of generated revenues, efficient completion of projects and continuous and predictable harvest levels.

Thank you very much for the opportunity to comment on the FY '21 IDL proposed timber sale program.

Sincerely,

Timothy P. Dougherty  
Agency Resource Manager



**STIMSON LUMBER COMPANY**

7600 Mineral Drive, Ste. 400

Coeur d'Alene, ID 83815

(208) 765-1414

(208) 772-5636

Dustin T. Miller  
Director  
Idaho Department of Lands  
PO Box 83720  
Boise, ID 83702

April 9, 2020

Dear Director Miller:

Stimson is a privately held forest products company that operates mills and owns lands in Oregon, Washington, Montana, and Idaho. The availability of timber through the Idaho Department of Lands (IDL) Timber Sale program is very important to us and we appreciate the opportunity to comment on the Fiscal Year 2021 proposed State Timber Sale Plan.

Stimson supports the active management of Idaho's Endowment Timber lands. The monies received from active timber management on these lands are crucial to the beneficiaries of the Endowment Trust Lands. Stimson fully supports the FY 2021 proposed State Timber Sale Plan. The continued management of the State's Endowment lands provides a much needed supply of raw material for the three saw mills that Stimson owns and operates in the state of Idaho.

Once again, I would like to thank you for the opportunity to comment on the Fiscal Year 2021 State Timber Sale Plan.

Sincerely,

David Brummer  
Regional Procurement and Marketing Manager  
Stimson Lumber Company

## **2019 FOREST ASSET MANAGEMENT PLAN EXECUTIVE SUMMARY**

In the autumn of 2018, the Endowment Timber Program began a planning and modeling effort with multiple contractors to develop Supervisory Area-specific, strategic forest harvest models to update the 2009 Land Board approved Forest Asset Management Plan (FAMP). The purpose of the FAMP process is to improve and strengthen the timber management business, maximize returns to trust beneficiaries over the long-term, address market changes and risk, reduce biological risks, and maintain or improve important forest functions. Specific goals developed from the initial effort in 2009 still apply today, including: reaching a statewide desired standing volume of 5.5 billion board feet, reducing volume of oversize and over-mature timber, developing a long-term, sustainable even-flow harvest, and updating on a five year schedule while taking advantage of the best inventory information available. This FAMP utilized a 200-year planning horizon versus 100 years for the 2009 FAMP.

The proposed harvest levels determined from this effort were presented to and approved by the Land Board in August of 2019. The new statewide harvest level at full implementation of the plan will be 328 MMBF for approximately twenty years, with a four-year incremental increase from the 270 MMBF sales plan of Fiscal Year 2020.

Each Supervisory Area, excluding Eastern Idaho, developed its own set of forest product yields, activity costs, and silvicultural prescriptions to establish forest management requirements and constraints for various 200-year modeling scenarios. These models were compared against other models and an unconstrained model to find age class gaps, economic rotation ages, and opportunity cost differences between the options. The modeled scenarios for each Supervisory Area were assessed by Operations, Timber Bureau, and Executive Staff to determine an acceptable harvest level for the next five to twenty years.

Each Supervisory Area has developed an Area-specific FAMP which tiers to the statewide FAMP. The Area-specific FAMP documents include the strategy for meeting the new forest management targets and associated stand establishment and tending activities necessary to ensure biological and financial feasibility.



Table 1 below shows the planned annual timber sale volume in million board feet by Supervisory Area for the next four fiscal years:

**TABLE 1 Sales Plan Increase to Full Implementation**

<b>Area</b>	<b>2021 Sale Volume</b>	<b>2022 Sale Volume</b>	<b>2023 Sale Volume</b>	<b>2024 Sale Volume</b>
Eastern	5	5	5	5
Southwest	12	14	16	16
Payette Lakes	21	21	21	21
Maggie Creek	24	27	30	30
Clearwater	50	52	55	55
Ponderosa	40	40	40	40
St. Joe	70	80	80	80
Mica	18	18	18	18
Pend Oreille	29	31	35	35
Priest Lake	21	24	26	28
<b>Totals</b>	<b>290</b>	<b>312</b>	<b>326</b>	<b>328</b>

**IDAHO DEPARTMENT OF LANDS**

Table 2 shows acres by timber type for the primary and secondary base timberland and a brief description of each timber type:

**TABLE 2 Acres by Timber Type and Land Base**

<b>Timber Type</b>	<b>Primary Base Net Acres</b>	<b>Secondary Base Net Acres</b>
16" and greater sawtimber– Low Stocking	70,785	9,125
16" and greater sawtimber– Medium Stocking	45,025	13,192
16" and greater – High Stocking	57,555	21,672
12-16" sawtimber -Low Stocking	27,821	4,282
12-16" sawtimber - Medium Stocking	35,913	3,676
12-16" sawtimber -High Stocking	75,649	3,860
7-12" sawtimber – Low stocking	39,168	5,326
7-12" sawtimber – Medium stocking	69,102	5,943
7-12" sawtimber – High stocking	55,330	3,246
3-7" timber – Low stocking	4,602	2,264
3-7" timber – Medium stocking	58,565	3,885
3-7" timber – High stocking	20,076	1,965
Sapling <3" DBH – Low Stocking	6,182	1,900
Sapling <3" DBH – Medium Stocking	42,850	2,168
Sapling <3" DBH – High Stocking	20,748	602
Seedlings	55,940	3,307
Non-stocked	9,482	3,854
<b>Total</b>	<b>694,793</b>	<b>90,267</b>

*Note:* Net acres exclude road buffers and was obtained from the Area files used to generate the harvest units for the Woodstock model.

Table 3 below shows volume in thousand board feet (mbf) by species and diameter class for Primary endowment timberland:

**TABLE 3 Volume by Species and Diameter Class Primary Land Base**

Species	< 8"	8 - 12"	12.1 - 16"	16.1 - 20"	20.1 - 24"	24.01 +"	Grand Total	%
AF	2,973	25,881	30,069	15,552	8,334	2,342	85,151	1.02%
CE	25,022	164,340	178,153	196,091	166,234	228,063	957,903	11.43%
DF	35,315	298,525	458,591	625,434	528,051	372,537	2,318,453	27.66%
ES	3,884	25,502	29,955	38,420	48,370	56,094	202,225	2.41%
GF	62,671	509,470	556,836	745,121	612,675	383,981	2,870,754	34.24%
LP	11,797	115,263	88,429	32,065	10,305	898	258,757	3.09%
PP	7,018	48,613	87,606	126,620	146,175	234,726	650,758	7.76%
WH	15,854	105,028	129,799	100,339	57,952	57,127	466,099	5.56%
WL	9,785	76,563	129,775	133,024	69,370	36,172	454,689	5.42%
WP	4,487	29,706	22,214	22,208	17,445	22,386	118,446	1.41%
<b>Grand Total*</b>	<b>178,806</b>	<b>1,398,891</b>	<b>1,711,427</b>	<b>2,034,874</b>	<b>1,664,911</b>	<b>1,394,326</b>	<b>8,383,235</b>	<b>100.00%</b>
<b>%</b>	<b>2.13%</b>	<b>16.69%</b>	<b>20.41%</b>	<b>24.27%</b>	<b>19.86%</b>	<b>16.63%</b>	<b>100.00%</b>	

\*Eastern Idaho data included from 2015 Eastern CFI report

The proposed 328 MMBF annual sale volume is a 32.8% increase over the 247 MMBF that resulted from the 2009 FAMP. Assuming relative market and price stability, the Department expects that gross revenue from timber sales would increase proportionally. The growth and yield models predict that the new annual sale volume is sustainable for about 20 years given the excess inventory available for harvest. The Department plans to repeat the FAMP revision process at approximately five-year intervals to allow for adjustments as needed based on updated inventory and growth information.

Sale Name	Ranger District	Project Status	USFS Fiscal Year	Est Treatment Area (AC)	Est Harvest Vol MBF	Est Gross Sold Value	Est Program Revenue
<b>Idaho Panhandle National Forest</b>							
Jasper II West	Priest Lake	Sold	Q2 FY18	306	3,500	\$1,470,006	\$1,289,711
Hard Rock	Priest Lake	Sold	Q3 FY18	520	8,690	\$2,372,370	\$1,983,443
Black Boulder	Bonnors Ferry	Sold	Q4 FY19	303	4,680	\$786,263	\$244,487
Hanna Flats North	Priest Lake	Sold	Q4 FY19	889	6,425	\$732,450	\$42,084
Thin Lamb	Priest Lake	In Progress	Q3 FY20	824	7,380	\$1,164,702	\$674,374
Total				2,842 AC	30,675 MBF	\$6,525,791	\$4,234,099
<b>Nez Perce Clearwater National Forest</b>							
Wapiti	Lochsa	Sold	Q1 FY17	200	5,900	\$1,829,000	\$1,672,555
Woodrat Salvage	Lochsa	Completed	Q3 FY17	348	5,200	\$2,323,882	\$1,978,272
Windy Shingle South	Salmon River	Sold	Q4 FY19	640	6,530	\$380,351	\$4,432
Gold Hill	Palouse	In Progress	Q3 FY20	230	6,500	\$2,112,500	\$1,867,500
Midas Touch	Palouse	Proposed	Q2 FY21	180	4,000	\$1,300,000	\$1,055,000
Total				1,598 AC	28,130 MBF	\$7,945,733	\$6,577,759
<b>Payette National Forest</b>							
Duck Duck Goose	New Meadows	Sold	Q2 FY20	16	140	\$1,022	\$1,022
Crystal	Council	In Progress	Q4 FY20	319	4,600	\$684,691	\$587,812
Rocky Goose	New Meadows	Proposed	Q2 FY21	715	3,200	\$425,000	TBD
Sloans Point	McCall	Proposed	Q2 FY22	592	3,334	\$480,000	\$365,120
Brown Pine	Weiser	Proposed	Q3 FY22	500	2,222	\$260,000	TBD
Total				2,142 AC	13,496 MBF	\$1,850,713	\$953,954
<b>Boise National Forest</b>							
High Forks	Emmett	Sold	Q2 FY19	913	5,392	\$878,555	\$591,810
Bogus Basin Direct Unit 4	Mtn Home	Sold	Q4 FY19	133	408	\$743	\$743
Bogus Basin Direct Units 9, 10	Mtn Home	Sold	Q4 FY19	133	693	\$693	\$693
Willow South	Cascade	Completed	Q4 FY19	275	3,330	\$278,631	\$141,436
Bogus Basin Unit 2	Mtn Home	Sold	Q1 FY20	74	269	\$813	\$813
Bogus Basin Direct Units 5	Mtn Home	In Progress	Q4 FY19	140	750	\$1,279	\$1,279
Bogus Basin Direct Units 6	Mtn Home	Proposed	Q3 FY21	94	431	\$2,000	\$2,000
Bogus Basin Direct Units 7	Mtn Home	Proposed	Q3 FY21	116	292	\$500	\$500
Tripod	Emmett	Proposed	Q1 FY21	649	4,550	\$550,000	\$339,000
Total				2,527 AC	16,115 MBF	\$1,713,214	\$1,078,274
<b>Grand Totals</b>				<b>9,109 AC</b>	<b>88,416 MBF</b>	<b>\$18,035,450</b>	<b>\$12,844,086</b>

\* Estimated Gross Value or "stumpage value" equals the delivered log value minus logging, hauling and other associated costs.

\* Estimated Program Revenue is equal to the gross sale value minus the costs of activities included in the timber sale contract such as road improvements and decommissioning, or that will be completed by the USFS such as reforestation, brush disposal and prescribed burning after the harvest has been completed. These remaining funds can be used to by the State to offset personnel costs or accomplish additional restoration activities.

Idaho Department of Lands  
FY 20 and FY 21 Timber Sale Plans  
COVID-19 Market Related Impacts

The COVID-19 pandemic and the associated reduction in economic activity has put sudden pressure on lumber markets that were beginning to show signs of strength. The duration of the reduced economic activity and the long-term impacts are unknown at this time.

The Department has sold more than half of the FY 20 timber sale plan volume through March 2020. Most auctions continue to result in successful timber sales with competitive bidding occurring for some sales depending on the products and location.

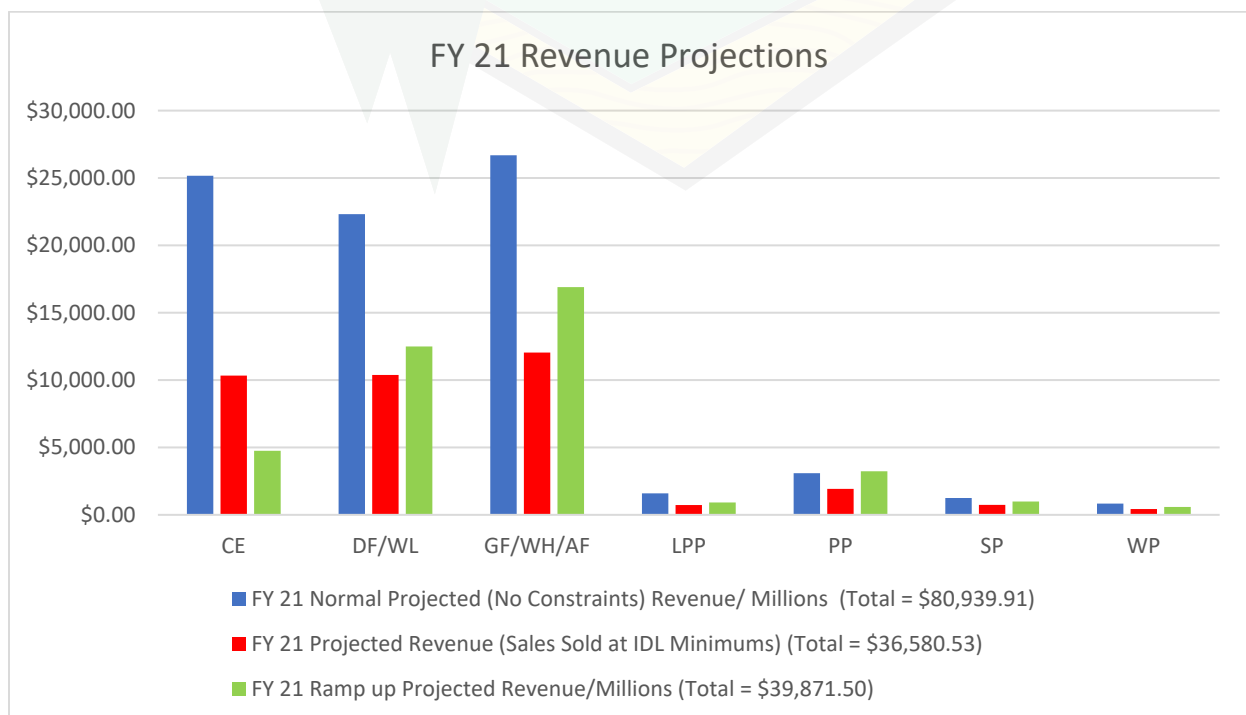
The Department intends to sell the remainder of the FY 20 timber sale plan volume throughout the rest of the fiscal year. Then, beginning in FY 21, the Department intends to proceed with the sale of the FY 21 timber sale plan volume with sales scheduled based on market conditions.

There are a number of reasons for the Department's plans regarding upcoming timber sale volume:

1. The annual sale volume developed as part of the Forest Asset Management Plan (FAMP) provides for sustainable harvest levels while maximizing long term revenue. Biological, operational, and economic factors were included in the development of the recommended annual timber sale volume from the FAMP. Delays in forest management practices affect long term growth and yield and the resulting revenue.
2. Endowment lands provide a consistent wood supply from state trust lands, which is important during good and bad economic times. During bad economic times, providing a relatively consistent supply of wood, albeit at a lower cost, benefits the endowments over the long-term by maintaining critical milling infrastructure. It also allows mills to buy IDL stumpage at a lower cost to blend with higher cost stumpage which may allow them to survive and weather an economic downturn.
3. The Department must plan timber harvests and forest management projects over a number of years, from sale layout and preparation, to sale administration, to stand establishment and thinning after harvest. This includes collecting seed and placing seed orders, scheduling planting projects, and more. The Department cannot quickly adjust staffing and budgets in a manner similar to the private sector. A consistent flow of timber sales prevents a below-cost situation while also maintaining more consistent revenue for the endowments.

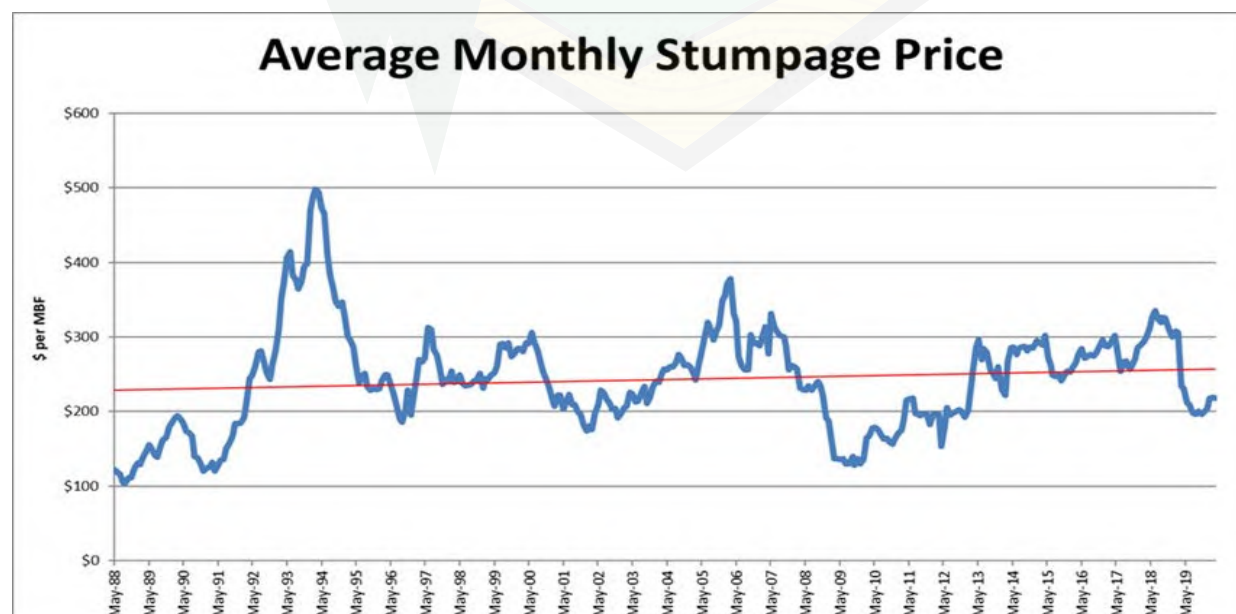
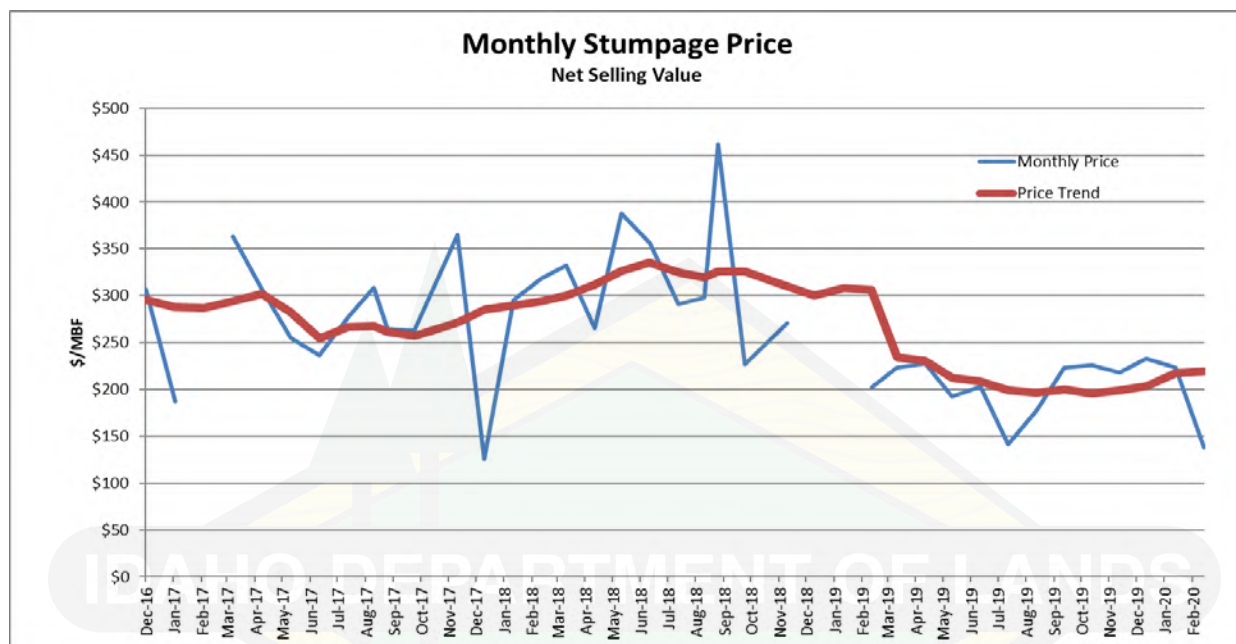
The table below shows the COVID-19 impacts on the value of FY 20 and FY 21 timber sales under several scenarios. The scenarios show a worst-case situation for potential financial impacts to the endowments. Please note that the timber sales often have 3-4 year contract length and even worst-case impacts would likely affect revenue over several fiscal years rather than a single year.

	Volume Sold/Remaining To Be Sold (mmbf)	Value if Sold at Average FY 20 Price (\$mm)	Value if Sold at Minimum Price (\$mm)	Gross Market-related Revenue Reduction (\$mm)				
<b>FY 20 Timber Sales (through March)</b>	155.58	27.9	NA	0				
<b>Remaining FY 20 Timber Sales (adjusted to minimum prices - worst case)</b>	117.92	21.2	14.3	-6.9				
	Planned Sale Volume (mmbf)	Value if Sold at 4 Year Average Price (\$mm)	Value of 50% of Volume at Minimum Price (\$mm)	Value of 25% at Midpoint Between Minimum and Forecast Average Price (\$mm)	Value of 25% of Volume at Forecast Average Price (\$mm)	Value if Sold at Minimum Price (\$mm)	Total Adjusted Value (\$mm)	Gross Market-related Revenue Reduction (\$mm)
<b>FY 21 Timber Sales (4-year average price)</b>	289.96	80.9	NA	NA	NA	36.6	NA	-44.3
<b>FY 21 Timber Sales (adjusted to temporary market decline)</b>	289.96	80.9	14.5	10.9	14.5	NA	39.9	-41





The graphs below show timber sale results for endowment timber sales over time, including past significant events such as the "great recession" about 10 years ago. Please note the gaps in the monthly price in the chart below when the Department elected to briefly pause timber sale auctions due to market conditions. The Department has done so recently and will continue to adapt to market conditions to position the endowments favorably while also continuing to offer a consistent, stable timber sales program that timber purchasers can depend on to help sustain their operations.



# Fiscal Year 21 Sales Plan

IDAHO DEPARTMENT OF LANDS

Jim Elbin  
Timber Management, Bureau Chief  
Coeur d'Alene, ID





# Introduction

## ▶ **STUMPAGE HISTORY & SALES PROJECTIONS**

- Discussion of IDL Sales Plan
- Remainder of FY20 Sales Plan
- Plan: Continue as Advertised

## ▶ **FAMP AND NEW HARVEST LEVEL DISCUSSION**

- Snapshot of Forest Inventory
  - Species by Diameter Class
  - Acres by Diameter Class
- FAMP Implementation Over Next Four Fiscal Years

## ▶ **FY21 SALES PLAN**

- Recommendation: Increase harvest level to 290 MMBF



# IDL Sales Plans

- ▶ Annual sale volume developed as part of the FAMP
  - Biological, operational, and economic factors
- ▶ IDL provides a consistent fiber supply from state trust lands
  - Federal lands inconsistent, subject to litigation
  - Private lands, large or small, much more market timing sensitive short-term cashflow driven
- ▶ IDL planning and budget process
  - Multiple year contracts for harvest
  - Budget planning process 18 -24 months before implementation





# Remaining FY20 Volume

- ▶ Downward trend in stumpage since beginning of FY19
- ▶ Sales for April in Director's Report appraised value \$158.59/MBF
  - Priest Lake - \$127.36/MBF
  - St. Joe - \$234.41/MBF
  - Ponderosa - \$170.21/MBF
  - Clearwater - \$175.42/MBF
  - Payette - \$104.65/MBF
- ▶ April Sales to date recap
- ▶ May-June sale prices dependent on results from remaining April auctions

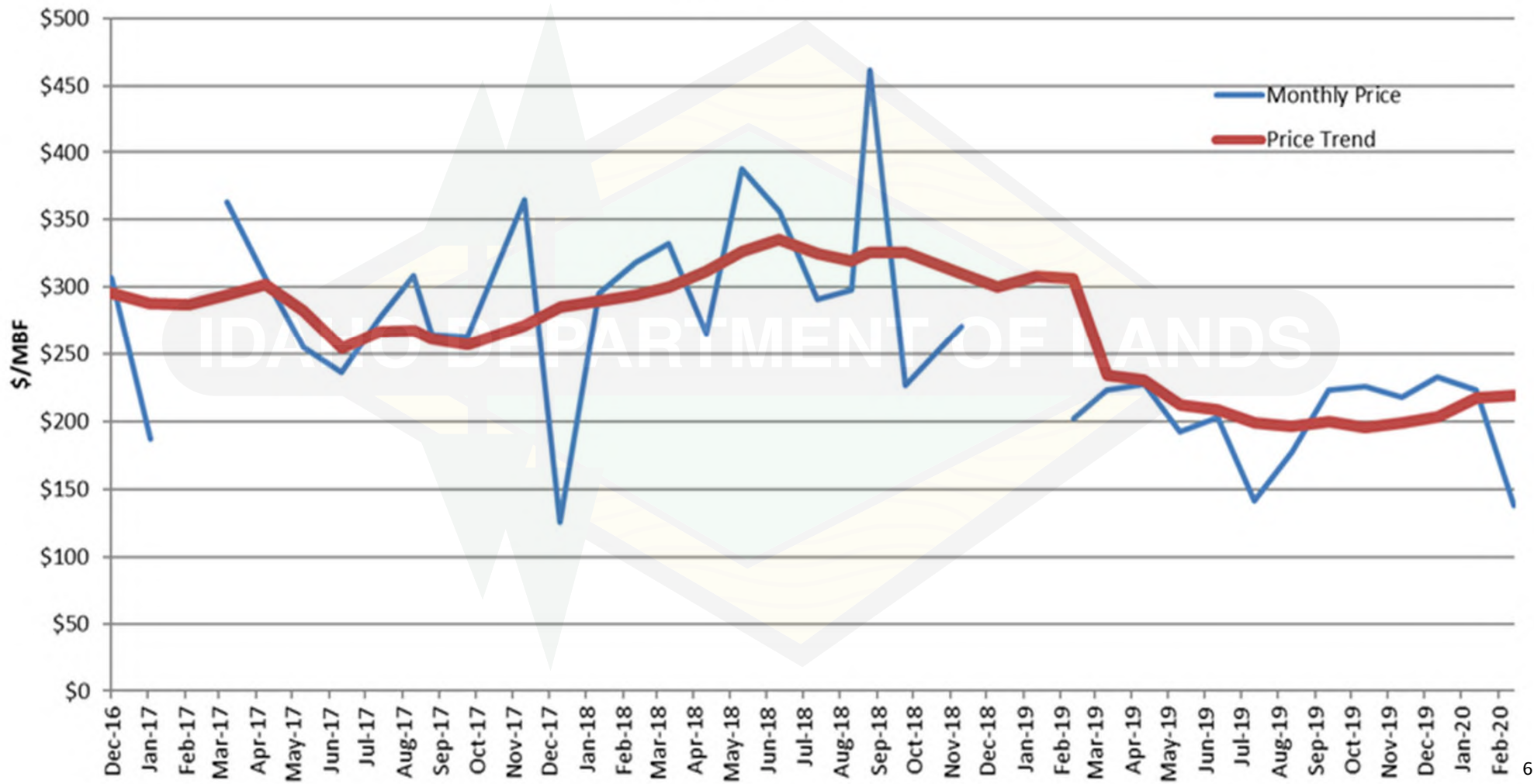


# FY 21 Projections

Species	Projected FY 21 Volume	4-Year Ave. Price/MBF	IDL Min. Stumpage Price/MBF	FY20 Ave. Price/MBF	Value if sold @ FY 21 4-year Average Price (\$mm)	FY21 Value if sold @ current IDL minimums	FY21 @ FY20 Average Prices
CE	34.57	\$727.87	\$299.00	\$576.93	\$25,162,552	\$10,336,430	\$19,944,470
DF/WL	90.9	\$245.59	\$114.20	\$180.00	\$22,324,358	\$10,380,780	\$16,362,000
GF/WH/AF	122.95	\$217.06	\$98.00	\$136.22	\$26,687,834	\$12,049,100	\$16,748,249
LPP	6.67	\$238.26	\$109.50	\$173.53	\$1,589,211	\$730,365	\$1,157,445
PP	23.49	\$131.80	\$81.80	\$98.21	\$3,095,982	\$1,921,482	\$2,306,953
SP	7.16	\$175.43	\$103.20	\$135.82	\$1,256,043	\$738,912	\$972,471
WP	4.26	\$195.58	\$100.40	\$174.78	\$833,181	\$427,704	\$744,563
<b>Total</b>	<b>290</b>				<b>\$80,949,162</b>	<b>\$36,584,773</b>	<b>\$58,236,151</b>

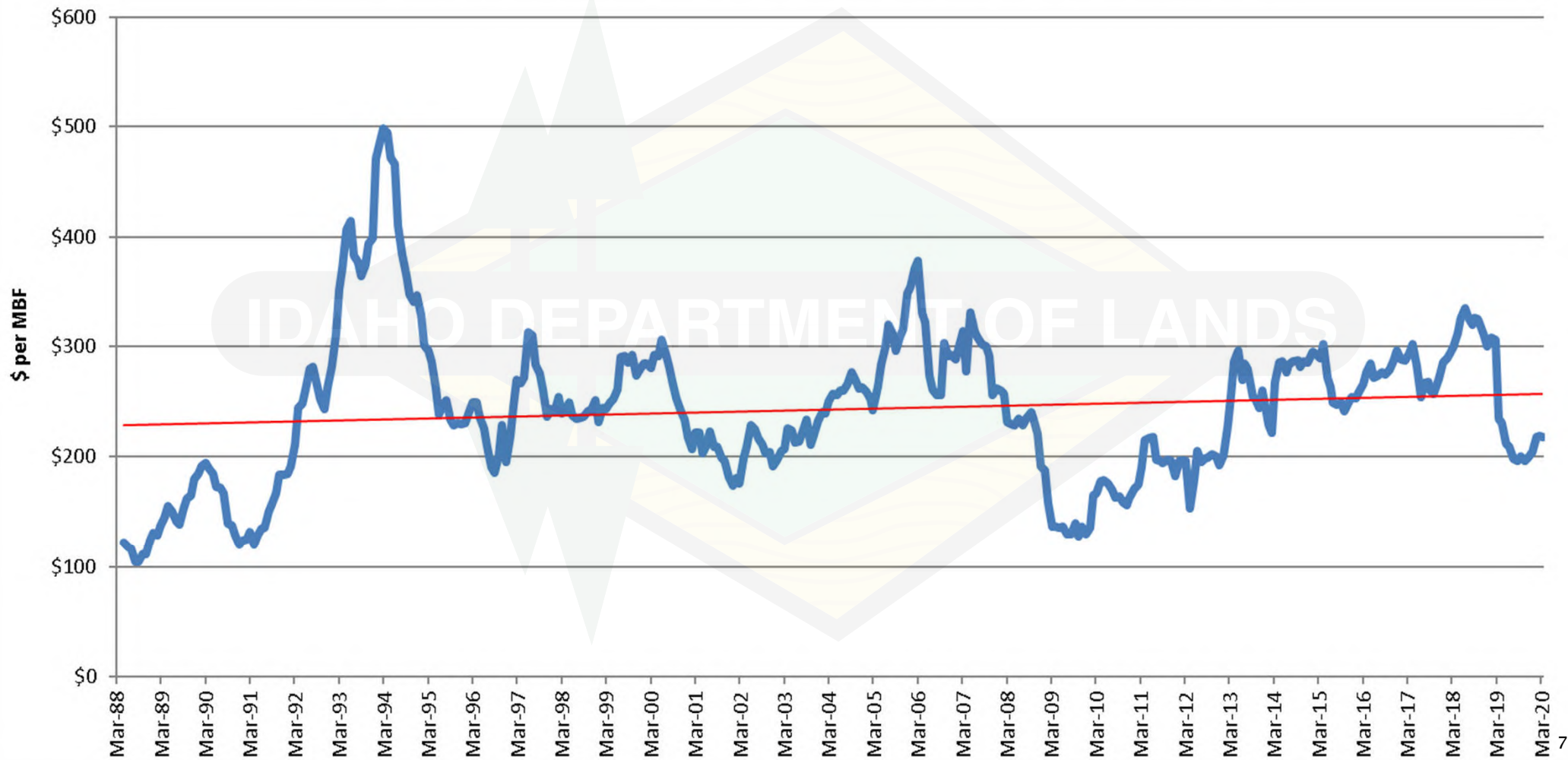
# Monthly Stumpage Price

## Net Selling Value





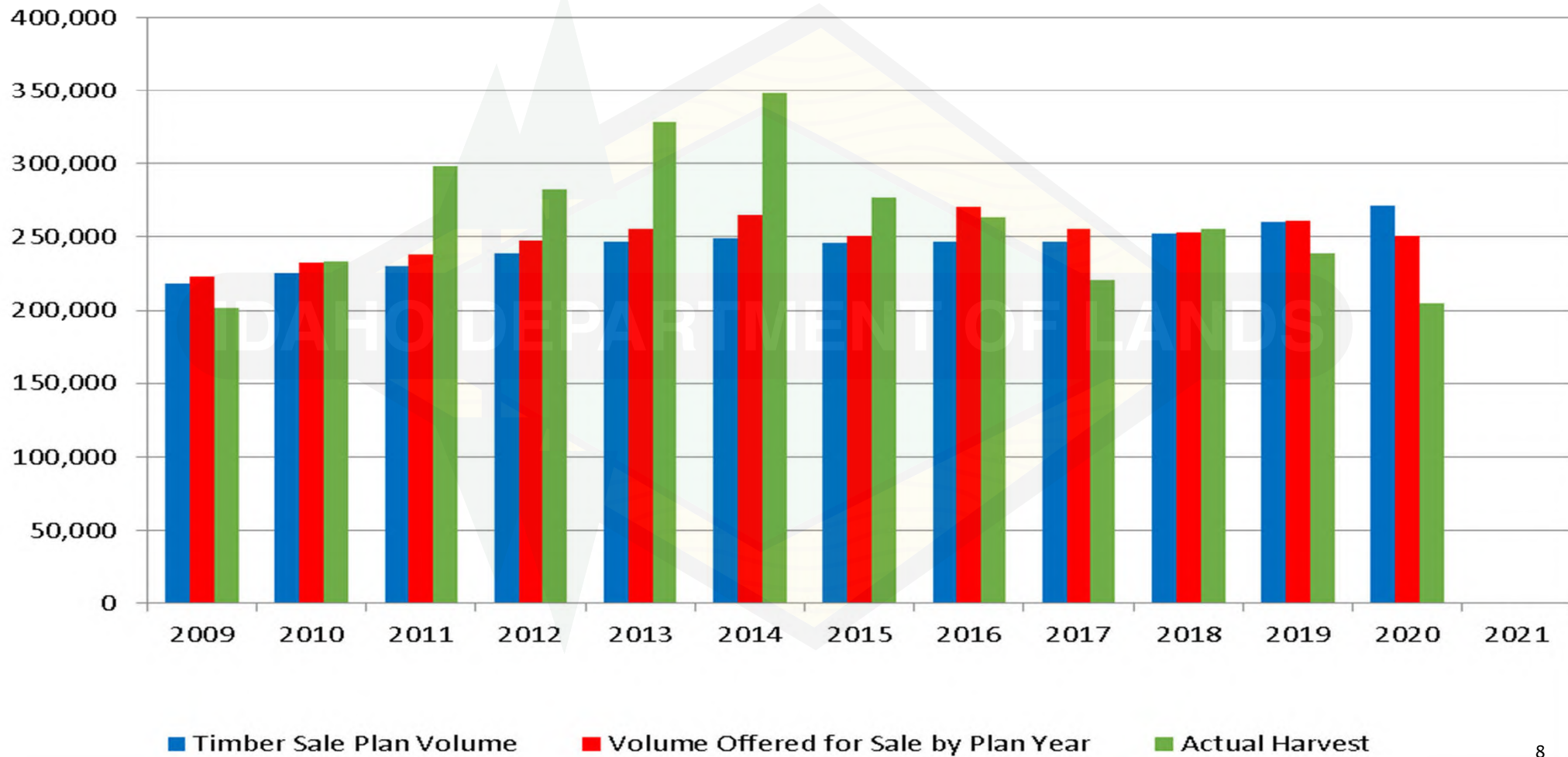
# Average Monthly Stumpage Price



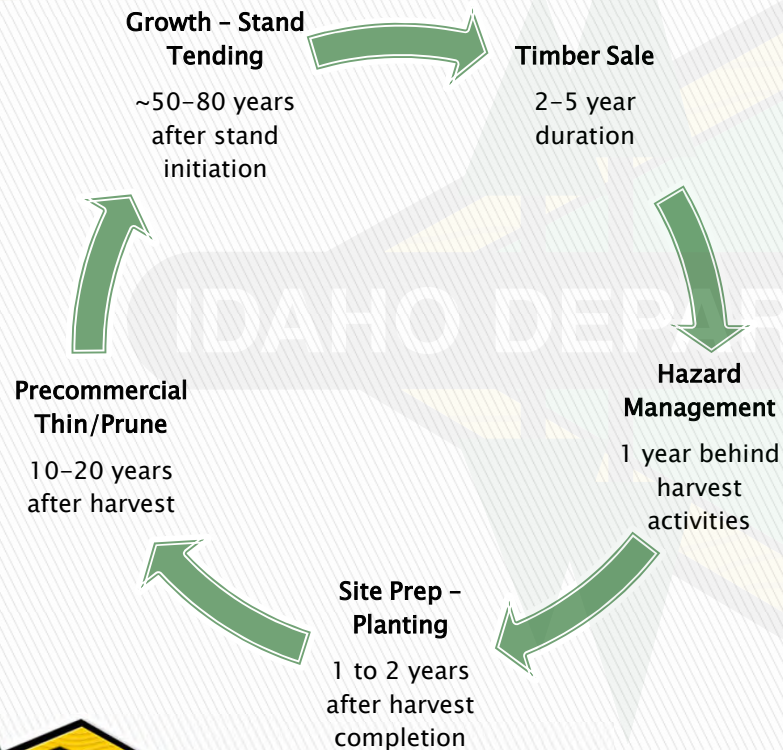
# IDL Timber Sale Plan Performance

FY 2008-2010 Sawlog Volume Only  
FY 2011-2019 Sawlog plus Pole Volume

FY20 results through  
April 6, 2020



# Timber Management Planning Process



## Factors Impacting Management

- Unknown Purchaser/Operator
- Changes to regulations regarding forest practices
- Harvest Timing
- Weather
- Two-year Budget Planning Cycle
- Fiscal Year Starts/Ends in middle of working season
- Market Conditions
- Fuel Costs
- Contractor Availability
- Fire Restrictions
- Insects, Disease, Wildfire, Windthrow





# Forest Asset Management Planning (FAMP)

- ▶ Pre-2009 Harvest levels set by Continuous Forest Inventory (CFI)
- ▶ FY2009 FAMP approved by Land Board
  - Increased harvest levels from 212 to 247 over next 5 years
  - Identified Desired Standing Volume between 5 and 6 Billion BF
- ▶ FY2010 Continued CFI; implemented Stand Based Inventory (SBI)
- ▶ FY2018-2020 incremental increases in sales plan volumes were backed by trends from CFI and SBI inventory analysis
- ▶ FY19 FAMP modeling process completed



# Sales Plan Increases to Full Implementation

Area	2021 Sale Volume	2022 Sale Volume	2023 Sale Volume	2024 Sale Volume
Eastern	5	5	5	5
Southwest	12	14	16	16
Payette Lakes	21	21	21	21
Maggie Creek	24	27	30	30
Clearwater	50	52	55	55
Ponderosa	40	40	40	40
St. Joe	70	80	80	80
Mica	18	18	18	18
Pend Oreille	29	31	35	35
Priest Lake	21	24	26	28
<b>Totals</b>	<b>290</b>	<b>312</b>	<b>326</b>	<b>328</b>



# Acres by Timber Type

Timber Type	Primary Base Net Acres
16" and greater sawtimber- Low Stocking	70,785
16" and greater sawtimber- Medium Stocking	45,025
16" and greater - High Stocking	57,555
12-16" sawtimber -Low Stocking	27,821
12-16" sawtimber -Medium Stocking	35,913
12-16" sawtimber -High Stocking	75,649
7-12" sawtimber - Low stocking	39,168
7-12" sawtimber - Medium stocking	69,102
7-12" sawtimber - High stocking	55,330
3-7" timber - Low stocking	4,602
3-7" timber - Medium stocking	58,565
3-7" timber - High stocking	20,076
Sapling <3" DBH - Low Stocking	6,182
Sapling <3" DBH - Medium Stocking	42,850
Sapling <3" DBH - High Stocking	20,748
Seedlings	55,940
Non-stocked	9,482
Total	694,793





# Volume by Species and Diameter Class – Primary Land Base MBF

	Diameter Class							
Species	< 8"	8 - 12"	12.1 - 16"	16.1 - 20"	20.1 - 24"	24.01 +"	Grand Total	%
AF	2,973	25,881	30,069	15,552	8,334	2,342	85,151	1.02%
CE	25,022	164,340	178,153	196,091	166,234	228,063	957,903	11.43%
DF	35,315	298,525	458,591	625,434	528,051	372,537	2,318,453	27.66%
ES	3,884	25,502	29,955	38,420	48,370	56,094	202,225	2.41%
GF	62,671	509,470	556,836	745,121	612,675	383,981	2,870,754	34.24%
LP	11,797	115,263	88,429	32,065	10,305	898	258,757	3.09%
PP	7,018	48,613	87,606	126,620	146,175	234,726	650,758	7.76%
WH	15,854	105,028	129,799	100,339	57,952	57,127	466,099	5.56%
WL	9,785	76,563	129,775	133,024	69,370	36,172	454,689	5.42%
WP	4,487	29,706	22,214	22,208	17,445	22,386	118,446	1.41%
<b>Grand Total</b>	<b>178,806</b>	<b>1,398,891</b>	<b>1,711,427</b>	<b>2,034,874</b>	<b>1,664,911</b>	<b>1,394,326</b>	<b>8,383,235</b>	<b>100.00%</b>
<b>%</b>	<b>2.13%</b>	<b>16.69%</b>	<b>20.41%</b>	<b>24.27%</b>	<b>19.86%</b>	<b>16.63%</b>	<b>100.00%</b>	



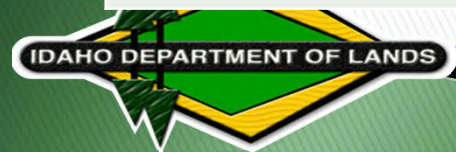


# FY21 Sales Plan

	Annual Sale Volume
Supervisory Area	FY21 Recommended
Priest Lake	21 MMBF
Pend Oreille Lake	29 MMBF
Mica	18 MMBF
St. Joe	70 MMBF
Ponderosa	40 MMBF
Clearwater	50 MMBF
Maggie Creek	24 MMBF
Payette Lakes	21 MMBF
Southwest Idaho	12 MMBF
Eastern Idaho	5 MMBF
Total	290 MMBF

## KEY POINTS:

- 28,810 Cedar Poles
  - 13,910 Dual Entry
  - 14,900 Single Entry
- Four Public Comments
- One Sale with Proposed Clearcut Over 100 Acres – Pocono Poke
- Last Year of Cedar Sale Pilot Program
- GNA Program – 12,473 MBF



# FY21 Sales Plan

## ► **Question Presented:**

- Shall the Board Approve the FY21 Timber Sales Plan?

## ► **Recommendation:**

- Direct the Department to proceed with implementation of the FY21 Timber Sale Plan.



# STATE BOARD OF LAND COMMISSIONERS

April 21, 2020  
Information Agenda

## Subject

Central Idaho Land Exchange Update

## Background

More than 10 years ago, Western Pacific Timberland (WPT) proposed exchanging WPT's Upper Lochsa lands (~39,000 acres) for U.S. Forest Service (USFS) lands scattered across several Idaho counties. This exchange proposal met with significant opposition from various groups and ultimately failed. Other efforts were made to seek a federal appropriation or pursue conservation buyers to purchase the WPT lands and transfer them to USFS ownership. These efforts also ran into various roadblocks.

Following these efforts, and upon approval of the Land Board's Strategic Reinvestment Plan in 2016, several groups contacted the Department to explore options about facilitating a possible exchange of WPT and USFS lands. At the February 21, 2017 Land Board meeting, the Department provided an update on reinvestment efforts, which included an evaluation of federal timberlands for a possible acquisition or exchange with the Department.

In the fall of 2017, the Department completed an initial evaluation of the original 60,000 acres of federal land that was scoped in the failed WPT land exchange and found that approximately 37,000 acres met the Department's initial evaluation criteria (i.e. – adjacency, productivity, access, distance to markets, etc.) for possible acquisition or exchange.

After completing this initial evaluation, the Department met with several interest groups to discuss a possible three-way exchange and to gauge public support for the exchange concept, referred to as the "Central Idaho Land Exchange," outlined in Attachment 1 and summarized below:

- WPT would deed its Upper Lochsa lands to the USFS;
- USFS would deed selected USFS parcels of equal value to the Department;
- The Department would transfer Land Bank funds equal to the value of the exchange properties into escrow based on federal yellow book appraisals for both ownerships;
- WPT would receive the cash placed in escrow by the Department, less an agreed upon payment for the 5 years of taxes to Idaho County.

This informal outreach effort included numerous meetings and conference calls over an 18-month period with representatives from the Idaho Recreation Council, The Nature Conservancy, the Nez Perce Tribal Staff and Nez Perce Tribal Executive Committee, Idaho County Commissioners, Trout Unlimited, Idaho Wildlife Federation, The Wilderness Society, Idaho Conservation League, Rocky Mountain Elk Foundation, USFS, Western Pacific Timber, and others.

Conservation representatives expressed concerns with some of the federal parcels that met the Department's initial evaluation criteria. After a meeting with these groups, the total USFS parcels were reduced from 37,000 acres to approximately 30,000 acres to address fish habitat related concerns (Attachment 2).

The most recent update to the Land Board was in April 2019 (Attachment 3).

## **Discussion**

Since the April 16, 2019 Land Board briefing on this topic, discussions with key partners have been ongoing. On June 13, 2019, the Department received a letter from the Nez Perce Tribal Executive Committee (NPTEC) (Attachment 4) that outlined the Tribe's concerns with the concept, including concerns over the loss of treaty rights on the lands that would be acquired by the Department from the USFS under the exchange. The Department, along with the Governor's Office, the Attorney General's Office, and the State Controller's Office, has since re-engaged the Tribe to discuss options for moving towards a workable solution. The Department hopes to come to an agreement with the Tribe in the very near future where both the Land Board's fiduciary obligation is preserved, and the Tribe's interests are recognized to the maximum extent practicable.

## **Summary**

Several groups support the concept of WPT Upper Lochsa lands going into USFS ownership since these lands have significant ecological, historical and recreational values that are better managed under the USFS multiple-use mission. In addition, the WPT lands are intermingled and surrounded by USFS ownership.

Some groups oppose the transfer of USFS lands to the Department or any other entity. The Nez Perce Tribe has expressed concerns over the loss of tribal treaty rights on the USFS lands that would transfer to the Department under this exchange proposal.

The Department has worked closely with the Governor's Office, the Attorney General's Office, and the State Controller's Office to understand the Nez Perce Tribe's concerns with the Central Idaho Land Exchange concept and has engaged in dialog on resolving those issues to the maximum extent practicable. The Department will continue working with the Tribe and other key groups to find a path forward. If successful in that effort, the Department will bring this item back to the Land Board with next steps and recommended actions for a formal exchange process.

## **Attachments**

1. Central Idaho Land Exchange Concept
2. Map
3. April 2019 Land Board memo
4. Letter from NPTEC





# CENTRAL IDAHO LAND EXCHANGE

Fact Sheet | Updated April 2018

The **Central Idaho Land Exchange** is a concept the Idaho Department of Lands (IDL), U.S. Forest Service (USFS), and other parties are exploring that would transfer private lands in the upper Lochsa basin to the USFS to protect their special historical, ecological and recreational value. The land exchange would also bring federal forestland into Public School Endowment ownership, and the lands would be managed by the State for timber harvest and remain open for recreation. The IDL and others are currently reaching out to various stakeholder groups to gauge potential support for the proposal.

## THE CONCEPT

It is a value-for-value land exchange involving IDL, USFS, and Western Pacific Timber (WPT).

IDL deposits money into escrow account based on the value of the lands exchanged.



WPT deeds ~38,000 acres of its land to USFS. The lands include important fish and wildlife habitat and hold historical value tied to the Lewis and Clark expedition.



USFS deeds selected federal lands to IDL. The value of the USFS lands transferred to IDL ownership equals the value of the lands USFS receives from WPT.



WPT receives cash in escrow account. WPT receives no land.



Idaho County receives funds equal to a certain number of years' worth of property taxes, to reduce short-term tax impacts.

## BENEFITS

The lands in the upper Lochsa basin fit with surrounding USFS ownership and its multiple-use mission. The ecological, historical and recreational values of these lands are protected under USFS ownership.

USFS lands that go into IDL ownership would be managed for timber harvest to support Idaho's public school system. Activity on the lands supports local jobs and the economy, and the lands would remain open for recreational use. Endowment timberlands cannot be sold pursuant to Idaho Code 58-133(1).

Short-term property tax impacts are reduced for Idaho County.

### What has to happen between USFS and IDL:

- IDL and USFS must mutually agree on USFS lands to be considered in the exchange.
- USFS must complete a final Environmental Impact Statement on the exchange properties.
- An independent third party appraisal of exchange properties must take place with adjustments made to the final exchange acres based on federal Yellow Book appraisal standards.

### Gauging support: IDL will only pursue a land exchange if there is broad public support.

- The Idaho Recreation Council is discussing this exchange proposal with local recreation user groups
- The Nature Conservancy is discussing this exchange proposal with conservation groups.
- IDL is discussing the exchange proposal with the Nez Perce Tribe, Idaho County Commissioners, and others.

### If broad support exists to pursue the land exchange:

- IDL will seek approval from the State Board of Land Commissioners (Land Board) to pursue the land exchange.
- If the Land Board approves, IDL will seek congressional support to finalize and pass federal legislation to authorize the exchange and provide the necessary resources for the USFS to complete the work to comply with the National Environmental Policy Act and complete the land exchange within a specific timeframe.



## Vicinity Map

### Ownership

- Other Federal
- Industrial Private
- Bureau of Land Management
- Indian Reservation
- National Park Service
- Private
- State
- Other State
- US Forest Service



County Boundry



Supervisory Area Boundry

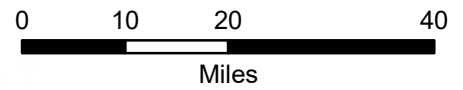


Not Selected Parcels



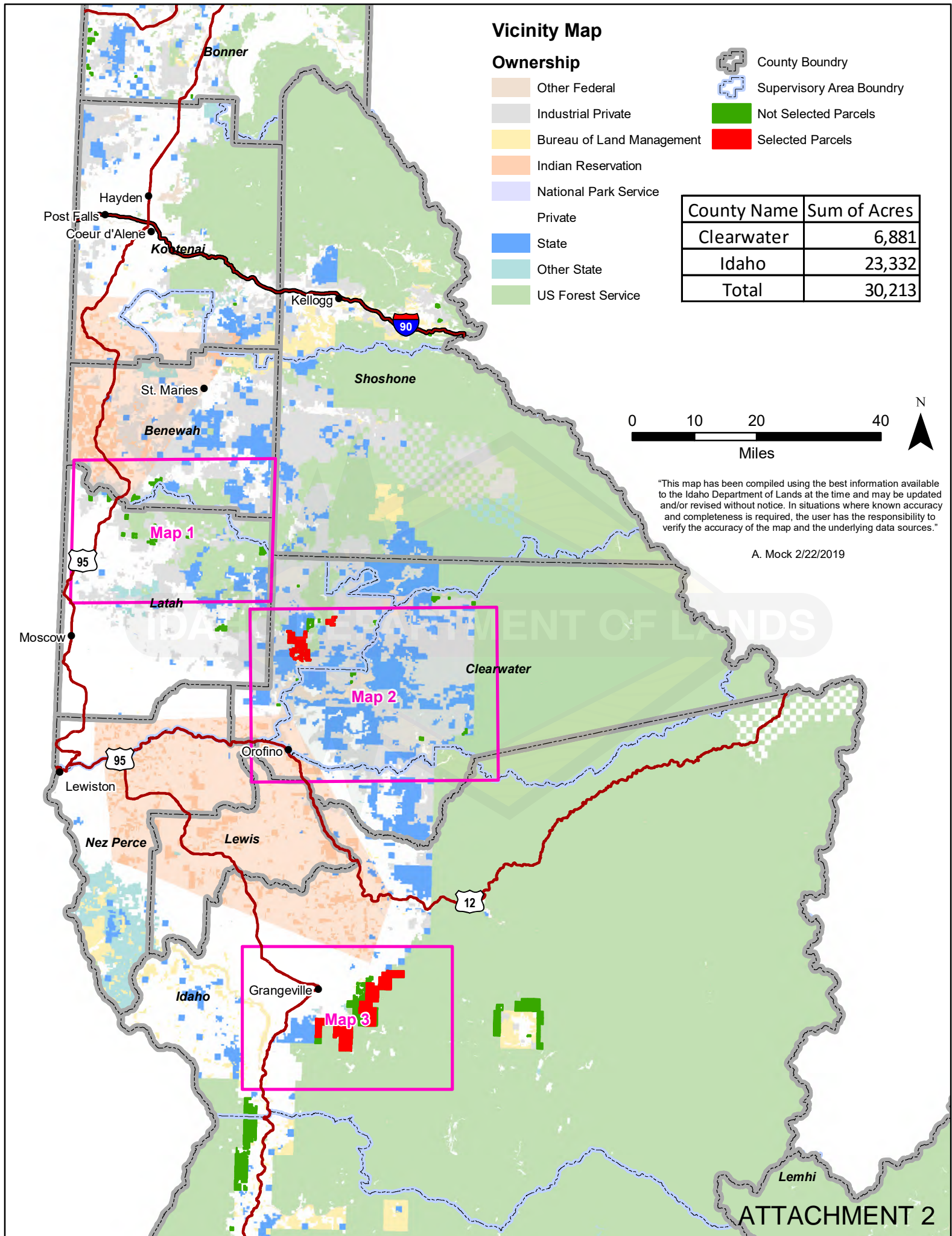
Selected Parcels

County Name	Sum of Acres
Clearwater	6,881
Idaho	23,332
Total	30,213



"This map has been compiled using the best information available to the Idaho Department of Lands at the time and may be updated and/or revised without notice. In situations where known accuracy and completeness is required, the user has the responsibility to verify the accuracy of the map and the underlying data sources."

A. Mock 2/22/2019



# STATE BOARD OF LAND COMMISSIONERS

April 16, 2019  
Information Agenda

## Subject

Strategic Reinvestment and Central Idaho Land Exchange

## Background

In May 2014, the State Board of Land Commissioners (Land Board) retained Callan Associates (Callan) to conduct an asset allocation study for land and financial assets (whole trust analysis). After completing this analysis, Callan was retained by the Land Board as its general investment and governance consultant to provide the Land Board with options regarding the prudent investment of Land Bank funds from the sale of cottage site lots and commercial buildings.

Callan's recommendations are memorialized in the Strategic Reinvestment Plan approved by the Land Board in May 2016. The Department met with various stakeholder groups before bringing the Strategic Reinvestment Plan to the Land Board for approval. Callan updated the original asset allocation and distribution study and the associated Strategic Reinvestment Plan in 2018. Both were approved by the Land Board in July 2018 (Attachment 1).

The Strategic Reinvestment Plan recommends the Land Board pursue timberland and farmland acquisitions that meet minimum hurdle rates of 3.5% and 4.5% net real, respectively. Reinvesting in timberland and farmland that meet or exceed the recommended hurdle rates benefits the Endowments by:

1. Providing a buffer against the volatility of the financial investments in the stock market and a revenue stream that is generally counter-cyclical to stock market swings;
2. Replacing the lost lease revenue from the sale of cottage sites and commercial buildings with timber sale revenue that supports future endowment distributions that grow with inflation and population growth; and
3. Providing a mechanism to reinvest the value of land assets sold (cottage site lots and commercial buildings) in traditional land assets to maintain a range of land asset value within 30% to 50% of the whole trust as recommended by Callan.

Each potential acquisition is carefully analyzed and evaluated by outside experts and staff to determine the long-term financial benefit to each endowment. Final decisions on individual acquisitions are based solely on the Department's fiduciary duty to the endowment beneficiaries. At the same time, timberland acquisitions often provide ancillary benefits that the public appreciates. Some of these ancillary benefits include:

- Steadily increasing distributions to local school districts (Attachment 2);
- Ensuring certainty of ownership and access since Endowment timberlands are statutorily prohibited from being sold (Idaho Code § 58-133(1)) and are open for public recreation; and
- Sustaining local jobs. Every one million board feet of timber harvested from Endowment timberlands sustains 24 local jobs (direct and indirect), generates almost \$1 million in wages, and \$1.8 million in Gross State Product (GSP) (Attachment 3). Depositing Land Bank funds from the sale of cottage sites and commercial buildings into the Permanent Fund (financial assets) does not benefit local Idaho economies in the same manner as acquiring timberland and increasing sustainable harvest levels.

Since implementing the Land Board's Strategic Reinvestment Plan, the Idaho Department of Lands (Department) has made four timberland acquisitions and one right-of-way easement acquisition as shown in the table below.

Name	Fiscal Year	Closing Date	Asset Type	Acres	Miles	Cost
Maggie Butte	2017	12/19/2016	Timberland	2,374.51		\$2,501,777
Black's Creek	2017	3/31/2017	Timberland	1,398.40		\$4,320,000
Walton	2019	12/7/2018	Timberland	114.00		\$222,033
Molpus*	2019	12/21/2018	Timberland	32,159.95		\$42,848,195
Hancock AE	2019		Easements		36.23	\$318,781
<b>TOTALS</b>				<b>36,046.86</b>	<b>36.23</b>	<b>\$50,210,786</b>

\*Attachment 4 is a letter dated February 14, 2019, from Molpus Woodlands Group supporting the Land Board's reinvestment of Land Bank funds into timberland and farmland.

## Discussion

The Department continues to explore other possible timberland acquisitions and land exchanges, including the proposed Central Idaho Land Exchange (CILEX).

More than 10 years ago, Western Pacific Timberland (WPT) proposed exchanging WPT's Upper Lochsa lands (~39,000 acres) for U.S. Forest Service (USFS) lands scattered across several Idaho counties. This exchange proposal met with significant opposition from various

groups and ultimately failed. Other efforts were made to seek a federal appropriation or pursue conservation buyers to purchase the WPT lands and transfer them to USFS ownership. These efforts also ran into various roadblocks.

Following these efforts, and upon approval of the Land Board's Strategic Reinvestment Plan in 2016, several groups contacted the Department to explore options about facilitating a possible exchange of WPT and USFS lands. At the February 21, 2017 Land Board meeting, the Department provided an update on reinvestment efforts, which included an evaluation of federal timberlands for a possible acquisition or exchange with the Department.

In the fall of 2017, the Department completed an initial evaluation of the original 60,000 acres of federal land that was scoped in the failed WPT land exchange and found that approximately 37,000 acres met the Department's initial evaluation criteria (i.e., adjacency, productivity, access, distance to markets, etc.) for possible acquisition or exchange.

After completing this initial evaluation, the Department met with several interest groups to discuss a possible three-way exchange and to gauge public support for the exchange concept outlined in Attachment 5 and summarized below.

- WPT would deed its Upper Lochsa lands to the USFS;
- USFS would deed selected USFS parcels of equal value to IDL;
- IDL would transfer Land Bank funds equal to the value of the exchange properties into escrow based on federal yellow book appraisals for both ownerships;
- WPT would receive the cash placed in escrow by IDL, less 5 years of taxes to Idaho County.

This informal outreach effort included numerous meetings and conference calls over an 18-month period with representatives from Idaho Recreation Council, The Nature Conservancy, Nez Perce Tribal Executive Committee and Nez Perce Tribal Staff, Idaho County Commissioners, Trout Unlimited, Idaho Wildlife Federation, The Wilderness Society, Idaho Conservation League, Rocky Mountain Elk Foundation, USFS, Western Pacific Timber, and others.

Conservation representatives expressed concerns with some of the federal parcels that met the Department's initial evaluation criteria. After a meeting with these groups, the total USFS parcels were reduced from 37,000 acres to approximately 30,000 acres to address their fishery concerns (Attachment 6).

## **Summary**

To date, the informal outreach efforts over the last 18 months are inconclusive at best. Some groups have expressed support to move forward with a more formal land exchange process while others are outright opposed (Attachment 7).

Several groups support the concept of WPT Upper Lochsa lands going into USFS ownership since these lands have significant ecological, historical, and recreational values that are better managed under the USFS multiple-use mission. In addition, the WPT lands are intermingled and surrounded by USFS ownership.

Some groups oppose the transfer of USFS lands to the State, or any other entity. The Nez Perce Tribe has also expressed concerns over the loss of tribal treaty rights on the USFS lands that would transfer to the State under this exchange proposal.

Over the next two months, the Department will continue working with a few key groups to try and find a path forward. If efforts are successful, then the Department will bring this item back to the Land Board with next steps and recommended actions for moving forward in a formal exchange process. If not, the Department will cease spending time on this effort.

## **Attachments**

1. Strategic Reinvestment Plan
2. Earnings Reserve Distributions to Five Northern Idaho County School Districts
3. Policy Analysis Group (PAG) Report #39, December 2018
4. Molpus Letter to Land Board, February 14, 2019
5. Central Idaho Land Exchange Concept
6. Central Idaho Land Exchange Maps
7. Idaho County Commissioners Letter to Land Board, December 11, 2018

IDAHO DEPARTMENT OF LANDS





*Nez Perce*

**TRIBAL EXECUTIVE COMMITTEE**

P.O. BOX 305 • LAPWAI, IDAHO 83540 • (208) 843-2253

June 13, 2019

**SENT VIA REGULAR MAIL & EMAIL TO: [dmiller@idl.idaho.gov](mailto:dmiller@idl.idaho.gov)**

Mr. Dustin Miller, Director  
Idaho Department of Lands  
300 N. 6th Street, Suite 103  
Boise, ID 83702

***Re: Proposed Central Idaho Land Exchange***

Dear Director Miller:

The Nez Perce Tribe ("Tribe") has met several times with Deputy Director David Groeschl and Administrator of Forestry and Fire Craig Foss to discuss the Idaho Department of Land's ("IDL") proposed Central Idaho Land Exchange. The Tribe appreciates the time and effort Deputy Director Groeschl and Administrator Foss have both made to work with the Tribe to ensure we understand the details of the proposed Central Idaho Land Exchange and address the Tribe's questions about it.

The Tribe, after careful review of the proposed Central Idaho Land Exchange, has determined that it cannot support the proposal. Our understanding from Deputy Director Groeschl is that the state of Idaho has taken the position that the Tribe's treaty rights will not be acknowledged on the Forest Service lands once they are acquired by IDL. All of the Forest Service parcels under consideration for transfer to IDL in the proposed Central Idaho Land Exchange are subject to the Tribe's 1855 Treaty with the United States. Today, tribal members continue to rely on these National Forest lands to exercise Treaty-reserved rights. These rights include fishing, hunting, gathering, and pasturing and other cultural and spiritual practices. In addition, under the 1863 Treaty, the Tribe reserves access to all springs and fountains within areas ceded to the United States in this Treaty.

These lands and waters to which the Tribe attaches intrinsic cultural value and on which the Tribe has Treaty-reserved rights are not fungible or replaceable. Each acre of land has its own unique quality, value, and history. Such Treaty rights are affected by the quality and location of



the land they are attached to and how the lands are managed. As the Tribe has previously stated in the context of the prior Western Pacific Timber land exchange proposal, land is not a fungible commodity that can be simply traded acre for acre, especially in the context of Treaty-reserved rights. The land that would be conveyed to the Forest Service has been heavily affected by past private resource extraction activities and would in the Tribe's view as a co-manager of the resource—require tens of millions of dollars and decades to restore to a point of qualifying as a functioning watershed for fish and wildlife.

Over the last several years, the Tribe has implemented millions of dollars in restoration projects on Forest Service lands in the Upper Lochsa, and the Forest Service has invested nearly \$3 million in the restoration of the area. Since 1992, about 267 miles of roads have been decommissioned and nine culverts were removed on fish-bearing streams. Since 2000, 21 culverts were replaced with new culverts designed to allow fish passage. The removal or replacement of culverts provided access to 32 miles of historic habitat in the drainage for fish including bull trout and steelhead. The Tribe believes that similarly extensive work would be required on the lands acquired by the Forest Service to improve watershed health and to benefit steelhead and bull trout.

The United States and the Tribe have also implemented millions of dollars in restoration work in areas adjacent to the lands targeted for transfer to IDL. For over 15 years, the Tribe has committed substantial time and resources to improve fish habitat in the areas near and directly adjacent to the parcels targeted to transfer from federal ownership. These areas include the American River, Red River, Newsome Creek, and Lower South Fork Clearwater River watersheds. These areas currently have high spawning and rearing potential for steelhead and Chinook salmon but are severely limited by sediment from high road densities. The Tribe has replaced culverts to improve fish passage, decommissioned roads, and improved riparian habitat which have collectively resulted in reduced harmful sediment delivery into streams.

The Tribe is concerned about the impacts IDL management will have on the extensive habitat restoration work performed by the Tribe on the Forest Service-managed properties. For example, increased timber harvest and associated road construction activities would have a direct impact on sediment production and delivery into steelhead spawning and rearing areas. These negative effects would be compounded by Forest Service timber management activities on lands near, or directly adjacent to, the parcels proposed for trade to IDL. The cumulative impacts from resource extraction on these lands will not be able to be easily addressed or mitigated for, and years of previous work could be compromised.

The Tribe strongly disagrees as a matter of law with the state of Idaho's assertion that the Tribe's treaty rights would no longer attach to the properties acquired by IDL. In addition, the Tribe is very concerned that IDL's acquisition of the Forest Service properties will significantly diminish

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the Tribe's ability to participate in management decisions that may affect access, exercise, and the quality of the Tribe's Treaty-reserved rights on those properties.

The Tribe has appreciated meeting with IDL on this issue and hopes to continue that relationship into the future. Thank you.

Sincerely,

*For Mary Jane Miller*  
Shannon R. Wheeler  
Chairman

cc (via email): David Groeschl, Idaho Department of Lands ([dgroeschl@idl.idaho.gov](mailto:dgroeschl@idl.idaho.gov))  
Craig Foss, Idaho Department of Lands ([cfoss@idl.idaho.gov](mailto:cfoss@idl.idaho.gov))  
Kurt Steele, Nez Perce-Clearwater National Forests ([kurt.steele@usda.gov](mailto:kurt.steele@usda.gov))

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